

CITY OF BERKLEY PUBLIC NOTICE
REGULAR CITY COUNCIL MEETING
Monday, October 3, 2022
7:00 P.M. – City Hall
248-658-3300

CALL 39th COUNCIL TO ORDER
APPROVAL OF AGENDA
INVOCATION – REVEREND MANDY BEAL
PLEDGE OF ALLEGIANCE
PUBLIC COMMENT
ORDER OF BUSINESS

Consent Agenda

1. **APPROVAL OF THE MINUTES:** Matter of [approving the minutes](#) of the 39th Regular City Council meeting on Monday, September 19, 2022.
2. **ORDINANCE NO. O-05-22:** Matter of [considering the Second Reading and Adoption](#) of an Ordinance of the City Council of the City of Berkley, Michigan to amend Section 94-7, Signs Requiring Permits and Section 94-12, Nonconforming Signs, in Chapter 94, Signs, of the City of Berkley Code of Ordinances to allow for signs for multi-tenant buildings and allow copy on nonconforming signs to be replaced.
3. **PROCLAMATION NO. P-33-22:** Matter of [proclaiming October 10, 2022](#) as Indigenous Peoples Day.
4. **RESOLUTION NO. R-20-22:** Matter of [adopting a resolution recognizing Joe Ozanich](#) for achieving the rank of Eagle Scout
5. **RESOLUTION NO. R-21-22:** Matter of [adopting a resolution recognizing Ian Burmeister](#) for achieving the rank of Eagle Scout.

Regular Agenda

1. **RECOGNITIONS/PRESENTATIONS:** Matter of any recognitions or presentations from the Consent Agenda.
2. **MOTION NO. M-91-22:** Matter of [approving marihuana business license #PMA20-0029](#) for Seven Points Dispensing of Michigan LLC to be located at 28557 Woodward Ave.
3. **MOTION NO. M-92-22:** Matter of [approving marihuana adult use retailer business license #PMA20-0003](#) for Operation Grow, LLC/dba Butter, at 2222 W. Eleven Mile Road. The applicant was previously approved on July 18, 2022 for a medical marihuana provisioning center business license at the same location.
4. **MOTION NO. M-93-22:** Matter of [authorizing Hubbell, Roth & Clark \(HRC\)](#) for professional design and engineering services related to the Wiltshire Road Improvement and Water Main Replacement Project at a cost not to exceed \$176,621.02. Funding has been allocated in the Road Millage and Water Service accounts 313-938-821-000 and 592-536-821-000.
5. **MOTION NO. M-94-22:** Matter of [adopting the MDOT Performance Resolution](#) as part of an MDOT Annual Right Of Way Permit.
6. **ORDINANCE NO. O-04-22:** Matter of [considering the Second Reading and Adoption](#) of an Ordinance of the City Council of the City of Berkley, Michigan to amend Article II of Chapter 90, Planning Commission, of the City of Berkley Code of Ordinances to reduce the size of the Planning Commission from 9 to 7 members.
7. **MOTION NO. M-95-22:** Matter of [authorizing the City Manager to sign](#) the Application for Additional Service Credit Purchase for Rebecca Stout approving two years of additional generic service credit. This purchase is allowed by the City of Berkley MERIT System of Human Resource Management Section 1001.08 and

meets all of the requirements of the MERS Plan Document which would allow for this service credit purchase.

COMMUNICATIONS

ADJOURN

Note: The City of Berkley will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audio tapes of printed materials being considered at the meeting, to individuals with disabilities at the meeting upon four working days' notice to the City. Individuals with disabilities requiring auxiliary aids or services should contact the City by writing or calling: Victoria Mitchell, ADA Contact, Berkley City Hall, 3338 Coolidge Highway, Berkley, MI 48072 (1-248-658-3310).

Note: Official minutes of City Council Meetings and supporting documents for Council packets are available for public review in the City Clerk's Office during normal working hours. Anyone wishing to submit correspondence for the meeting may send an email to clerk@berkleymich.net or call 248-658-3310 by 5 p.m. on the day of the meeting.

**THE REGULAR MEETING OF THE THIRTY-NINTH COUNCIL OF THE CITY OF BERKLEY, MICHIGAN
WAS CALLED TO ORDER AT 7:00 PM ON MONDAY, SEPTEMBER 19, 2022 BY MAYOR TERBRACK**

PRESENT: Steve Baker Bridget Dean
 Ross Gavin Dennis Hennen
 Natalie Price Jessica Vilani
 Daniel Terbrack

APPROVAL OF AGENDA

Councilmember Baker moved to approve the Agenda
Seconded by Councilmember Vilani
Ayes: Dean, Gavin, Hennen, Price, Vilani, Baker, and Terbrack
Nays: None
Motion Approved.

INVOCATION: Pastor Zack Dunlap

PUBLIC COMMENT

Berkley Downtown Development Authority Executive Director Michael McGuinness stated, "Make no bones about it, Berkley is ready for the BOO!KLEY season. He said downtown stakeholders interested in putting a spin on a skeleton this season should contact the Downtown Development Authority. He said those interested may pick up a skeleton or have it dropped off to then adorn it with a specialized vibe or choose from an area organization to represent. Mr. McGuinness announced the different BOO!KLEY Booster sponsorship opportunities are available as a monetary way to get involved. For more information, visit downtownberkley.com.

Consent Agenda

Councilmember Price moved to approve the following Consent Agenda, seconded by Councilmember Baker:

APPROVAL OF THE MINUTES: Matter of approving the minutes of the 39th Regular City Council meeting on Monday, August 8, 2022 and Special City Council meeting on August 15, 2022.

WARRANT: Matter of approving Warrant No. 1377 and Warrant No. 1378.

MOTION NO. M-85-22: Matter of approving the 2022-2023 Winter Maintenance Agreement between the Road Commission for Oakland County and the City of Berkley. The City will be reimbursed a total of \$11,735.26 which will be paid in two installments, \$5,867.63 due in December 2022 and \$5,867.63 due in March 2023.

PROCLAMATION NO. P-28-22: Matter of proclaiming October 2022 as Berkley Area Chamber of Commerce Month.

PROCLAMATION NO. P-29-22: Matter of proclaiming October 2022 as National Breast Cancer Awareness Month.

PROCLAMATION NO. P-30-22: Matter of proclaiming October 2022 as National Cybersecurity Awareness Month.

PROCLAMATION NO. P-31-22: Matter of proclaiming October 2022 as National Disability Employment Awareness Month.

PROCLAMATION NO. P-32-22: Matter of proclaiming and celebrating the American Library Association's Banned Books Week from September 18 to September 24 at Berkley Public Library.

Ayes: Gavin, Hennen, Price, Vilani, Baker, Dean, and Terbrack
Nays: None
Motion Approved.

Regular Agenda

RECOGNITIONS/PRESENTATIONS: Matter of any recognitions or presentations from the Consent Agenda.

1. Councilmember Vilani read P-28-22 in its entirety. Berkley Area Chamber Board President Tim Murad and Berkley Area Chamber Executive Director Darlene Rothman were present to receive the proclamation. They provided updates on past and upcoming events and promotions. A notable item included that Art Bash attendance was as big as ever which was nice following the pandemic and the challenges it posed. They thanked Oakland County for a grant that helped the Chamber through the tough times. They said upcoming activities and promotions include Berk Perks and a partnership with the Historical Committee to offer a kit house tour. They said they are always looking for volunteers and thanked everyone who has partnered with the Chamber and said none of the support is taken for granted. They discussed the importance of partnerships to support Berkley.
2. Councilmember Price read P-32-22 in its entirety. Library Director Matt Church thanked Council for the proclamation. He introduced the Library Board members who were in attendance at the meeting and said they all support this proclamation. He said at the library they are all about free choice on what you want to read, listen to, or watch. He said they want to make everything available to the community. He reiterated his thanks to Council for the support.

RESOLUTION NO. R-15-22: Matter of recognizing Myke Hunyor and his 17-year commitment to the City of Berkley.

Councilmember Vilani moved to approve Resolution No. R-15-22

Seconded by Councilmember Hennen

Ayes: Hennen, Price, Vilani, Baker, Dean, Gavin, and Terbrack

Nays: None

Motion Approved.

MOTION NO. M-86-22: Matter of approving the Department of Public Safety to enter into a 10-year agreement for an equipment refresh "Bundle" from Axon Enterprise, Inc. This bundle includes 32 Body Worn Cameras (BWC), 32 Taser 7 Electro-Muscular Disruption (EMD) weapons, 13 Axon Fleet In-Car Cameras, Axon VR Training platform, all installation, cloud based storage, redaction software, training, and accessories, for the yearly fee of \$100,438.31 from Axon Enterprise Inc., 17800 N 85th St., Scottsdale, AZ 85255. Axon Enterprise, Inc. is a sole source provider. Funds for the purchase of Taser 7 and BWCs are budgeted in the Equipment Account 101-310-982-000.

Councilmember Gavin moved to approve Motion No. M-86-22

Seconded by Councilmember Baker

Ayes: Price, Vilani, Baker, Dean, Gavin, Hennen, and Terbrack

Nays: None
Motion Approved.

MOTION NO. M-87-22: Matter of approving applicant for issuance of a Development District On-Premise Liquor License under Section 521a (1)(b) of 2006 PA 501 (MCL 436.1521a (1)(b)). Applicant: Berg's Provisions LLC d/b/a Mongers' Provisions, 3127 12 Mile Road, Berkley, MI.

Councilmember Baker moved to approve Motion No. M-87-22
Seconded by Mayor Pro Tem Dean
Ayes: Vilani, Baker, Dean, Gavin, Hennen, Price, and Terbrack
Nays: None
Motion Approved.

MOTION NO. M-88-22: Matter of authorizing the Berkley Instrumental Boosters/Orchestra Association, 2325 Catalpa Drive, Berkley, Michigan, to conduct Berkley Tag Days 2022 in the City of Berkley on Friday, October 14th from 4-9 p.m., Saturday October 15th from 9 a.m.-5 p.m., and Sunday, October 16th from 9 a.m.-5 p.m.

Councilmember Hennen moved to approve Motion No. M-88-22
Seconded by Councilmember Vilani
Ayes: Baker, Dean, Gavin, Hennen, Price, Vilani, and Terbrack
Nays: None
Motion Approved.

MOTION NO M-89-22: Matter of approving the appointments to various boards and commissions.

Councilmember Gavin moved to approve Motion No. M-89-22
Seconded by Mayor Pro Tem Dean
Ayes: Dean, Gavin, Hennen, Price, Vilani, Baker, and Terbrack
Nays: None
Motion Approved.

MOTION NO. M-90-22: Matter of authorizing the Mayor to execute a contract between SMART and the City of Berkley for Fiscal Year 2023 for Municipal Credit and Community Credit funds in order to provide public transportation services for the period of July 1, 2022 to June 30, 2023.

Mayor Pro Tem Dean moved to approve Motion No. M-90-22
Seconded by Councilmember Price
Ayes: Gavin, Hennen, Price, Vilani, Baker, Dean, and Terbrack
Nays: None
Motion Approved.

PRESENTATION: Matter of receiving a presentation on the 2021 Community Development Department Annual Report.

Community Development Director Kristen Kapelanski stated the Michigan Planning and Enabling Act requires an annual report each year. She said it is also a requirement of the Redevelopment Ready certification. She said Council does not need to take any action, but she is present with the annual report to answer any questions. She said one of the highlights is that the department has continued to provide excellent customer service despite the many changes.

RESOLUTION NO. R-16-22: Matter of adopting the Berkley Downtown Master Plan.

Councilmember Baker moved to approve Resolution No. R-16-22
Seconded by Councilmember Vilani
Ayes: Hennen, Price, Vilani, Baker, Dean, Gavin, and Terbrack
Nays: None
Motion Approved.

RESOLUTION NO. R-17-22: Matter of considering updates to the Berkley Fee Schedule, effective October 1, 2022.

Mayor Pro Tem Dean moved to approve Resolution No. R-17-22
Seconded by Councilmember Hennen
Ayes: Price, Vilani, Baker, Dean, Gavin, Hennen, and Terbrack
Nays: None
Motion Approved.

ORDINANCE NO. O-04-22: Matter of considering the First Reading of an Ordinance of the City Council of the City of Berkley, Michigan to amend Article II of Chapter 90, Planning Commission, of the City of Berkley Code of Ordinances to reduce the size of the Planning Commission from 9 to 7 members.

Councilmember Gavin moved to approve Ordinance No. O-04-22
Seconded by Mayor Pro Tem Dean
Ayes: Vilani, Baker, Dean, Gavin, Hennen, Price, and Terbrack
Nays: None
Motion Approved.

ORDINANCE NO. O-05-22: Matter of considering the First Reading of an Ordinance of the City Council of the City of Berkley, Michigan to amend the First Reading of an ordinance to amend Section 94-7, Signs Requiring Permits and Section 94-12, Nonconforming Signs, in Chapter 94, Signs, of the City of Berkley Code of Ordinances to allow for signs for multi-tenant buildings and allow copy on nonconforming signs to be replaced.

Mayor Pro Tem Dean moved to approve Ordinance No. O-05-22
Seconded by Councilmember Hennen
Ayes: Baker, Dean, Gavin, Hennen, Price, Vilani, and Terbrack
Nays: None
Motion Approved.

RESOLUTION NO. R-18-22: Matter of authorizing the amendment of the 2022-2023 Operating Budget as presented.

Councilmember Gavin moved to approve Resolution No. R-18-22
Seconded by Councilmember Hennen
Ayes: Dean, Gavin, Hennen, Price, Vilani, Baker, and Terbrack
Nays: None
Motion Approved.

RESOLUTION NO. R-19-22: Matter of approving the Resolution to amend the Public Safety Collective Bargaining Agreements to add standardized language necessary in order to maintain the Qualified Status of the Public Safety Pension System under the provisions of the U.S. Internal Revenue Code.

Councilmember Price moved to approve Resolution No. R-19-22
Seconded by Councilmember Vilani
Ayes: Gavin, Hennen, Price, Vilani, Baker, Dean, and Terbrack
Nays: None
Motion Approved.

COMMUNICATIONS

COUNCILMEMBER HENNEN: stated the Tree Board will meet 7 p.m. Monday, September 26th on the second floor of the Public Safety Building. He said the Zoning Board of Appeals (ZBA) met in August and approved an addition on a triangular lot. He stated that really is a textbook case of why the ZBA exists as only two triangular lots exist in the City. He said the ZBA didn't have any cases in September but will meet 7 p.m. October 10th inside City Council Chambers to hear a request for a home addition.

Councilmember Hennen said his next Talk with Dennis event will take place 6-8 p.m. Thursday, October 6th at the Berkley Public Library. He said people are welcome to stop by any time during that time frame.

He said Covid boosters are here and available to nearly everyone 12 and up. He encouraged everyone to think about the Pfizer and Moderna boosters that cover both the original strain and the newer variants. He encouraged everyone to also think about getting their flu shot soon.

COUNCILMEMBER PRICE: stated last week she had the privilege of attending a joint meeting of the Citizens Engagement Advisory Committee and Technology Advisory Committee. She said the combination of new and familiar faces as well as the breadth and depth of personal and professional experiences was impressive. She said she looks forward to the results of their collaborative work on the brand refresh and the new website. Councilmember Price said the Berkley Public Library Board will meet 7 p.m. Wednesday at the library. She said they will review the Board's establishing ordinance, the materials selection policy, and a draft letter from them supporting the Patmos Library Board of Trustees. She stated we are very fortunate to have such engaged and passionate members of our Library Board who are also committed to advocating on behalf of intellectual freedom, access to a diverse selection of materials, and the many benefits to our society that libraries provide. She thanked the Library Board members for their dedication and support of our beloved Berkley library.

COUNCILMEMBER BAKER: wished everyone a happy September. He stated the Historical Committee met last week on Tuesday the 13th continuing preparations for the 100th anniversary as a village, which was 1923. He said the Committee welcomes any photos and stories people would like to share anywhere along that journey as a village. He said in addition to Facebook, the Committee is now on Twitter and Instagram, @BerkleyHistoricalMuseum. He stated the Berkley Historical Museum is open 10 a.m.-1 p.m. Wednesdays and 2-4 p.m. Sundays. He stated you can also visit the Museum online at berkleyhistory.com. Councilmember Baker said the Downtown Development Authority Board of Directors met the next day on the 14th. He stated one of the many conversations taking place included the Coolidge crosswalks. He said the Board remains committed and dedicated to seeing those safely and properly reopened for the benefit of our residents, shoppers, and students. He said we are coming up on the wonderful month of October and the BOO!KLEY events are coming up soon. He stated some of the highlights will include Restaurant Weekend Sept. 30th-Oct 1st, Witches Night Out on Oct. 13th, BOO!KLEY Ghost Chase on Oct. 21st, and the Trick-or-Treat Stroll on Oct. 29th along with the Monster Mash where a portion of Coolidge will be closed off for safe terror! For more information or to become a sponsor, visit downtownberkley.com. Councilmember Baker said it was Helen Keller who wrote, "Optimism is the faith that leads to achievement. Nothing can be done without hope and confidence." He said as summer wraps up and we look to the fall, let's focus on the ways this year has been great thus far and what each of us can do to make autumn equally great if not better. He said together we can make our own lives and those around us, including the city, even better. Councilmember Baker said to stay safe and hug someone you love because they need it more than you think they do.

MAYOR PRO TEM DEAN: thanked everyone who supported and enjoyed the Parks and Recreation concert series, movies, and more this summer. She stated she popped into a couple of the events and said it was beautiful to see the families watching a movie while the kids played on playground equipment. She said she can't say enough about the great things the Parks and Recreation Department brings to the community. She also thanked the sponsors for making the events possible and free for the public to attend. Mayor Pro Tem Dean said the Touch a Truck event will take place 10 a.m.-noon Saturday, October 1st in the Community Center parking lot with a sensory-friendly half-hour from 9:30-10 a.m. She said no registration is required. She stated Tale on the Trail is October 20th at Oxford Park. She said registration is required and space is limited. She said the popular senior exercise class is back from 9:30-10:30 a.m. on Tuesdays and Fridays at the Community Center. She said no registration is required, but there is a \$2 drop-in fee. She said for more fall recreation classes, visit recreation.Berkleymich.org or stop by the Community Center.

COUNCILMEMBER GAVIN: quipped that planning was a hot topic of discussion during the meeting tonight so he would keep his Planning Commission update brief. He said the Planning Commission next

meets 7 p.m. September 27th in the Council Chambers. He said the Environmental Advisory Committee met last week and discussed short- and long-term goals for the community ranging from community education efforts to stormwater management policies to a sustainability plan to a community garden. He said a lot of great topics were discussed and many more that were not named. He stated the EAC next meets 6:30 p.m. Oct. 20th on the second floor of the Public Safety Building.

COUNCILMEMBER VILANI: echoed councilmember Price's comments on the joint Citizens Engagement Advisory Committee and Technology Advisory Committee meeting. She said she is excited to see what they have in store there. Councilmember Vilani reiterated the Berkley Area Chamber of Commerce commentary about the Berk Perk discount card program from earlier in the meeting. She said the cards will be going on sale soon and will provide discounts on dining and shopping at local Berkley businesses.

CITY MANAGER BAUMGARTEN: stated those visiting City Hall in the past couple of weeks noticed a new look as City Hall updated its counter space, at least quadrupling the amount of space to service our residents. He said it also allowed for changes to the internal work flow swapping the treasury and community development departments. He thanked the residents for their patience as City Hall was closed the week following Labor Day in order to complete the project in a timely manner. He said people were very supportive as the progress was shared through photos with the community. He said he could not be happier with all of the support and thanked staff too for being so open to the change. He said Council Chambers was completely filled with office contents during the process and systematically brought everything out and put it back in place in order to be ready to serve residents the next Monday. He thanked Facilities Manager Alex Brown for coordinating the project with external vendors to make it a success. He encourages everyone to visit City Hall and he hopes everyone will enjoy the new look, security, and service benefits. He further thanked Council for making the resources available to do so. Mayor Terbrack asked him about his attendance at Ford Field. City Manager Baumgarten said not only did the Lions win, but our very own Berkley Steelers ages 8-10 tackle program played on Ford Field against the Reed City Coyotes after the game. He said it was a great opportunity to bring out about 100+ members of our community to cheer them on and a couple of kids scored a touchdown on Ford Field which is a memory they will never shake. He thanked everyone for making the outing possible.

CITY ATTORNEY STARAN: thanked Mr. McGuinness for finding his doppelgänger to sit next to him during the meeting. He said the City Attorney's Office has been keeping very busy despite it being the summer season. He said he has been working on many ordinances, legal issues, complicated FOIA requests and pending litigation that is working its way through the system. He said administration is very busy trying to do good things for the City.

MAYOR TERBRACK: said his comments are also on the theme of ending the summer and moving into the fall and looking back at all of the incredible things we did in one of the most "normalish" summers we have had in the past two years. He said hearing from our finance director that revenues were surprisingly up and hearing about a lot of the things we were able to do like summer festivals, Art Bash, Lids for Kids, block parties, ribbon cuttings, and concerts, so many things that were able to happen in our community over the summer is important to remember. He said it was a tremendous summer and now kids are back in school. He said it was a very special summer and it wouldn't have happened without our incredible directors, staff, volunteers, and residents. He said that is what makes us Berkley and what makes Berkley special. He said he looks forward to attending those events again next summer and the events coming up in the fall. Mayor Terbrack said it was a very impactful and memorable summer for our community.

ADJOURNMENT

Councilmember Baker moved to adjourn the Regular Meeting at 9:01 p.m.

Seconded by Mayor Pro Tem Dean

Ayes: Price, Vilani, Baker, Dean, Gavin, Hennen, and Terbrack

Nays: None

Motion Approved.

DRAFT

AN ORDINANCE
of the City Council of the City of Berkley, Michigan to Amend Section 94-7, Sign
Requiring Permits and Section 94-12, Nonconforming Signs, in Chapter 94, Signs, of
the City of Berkley Code of Ordinances to Allow for signs for multi-tenant buildings
and allow copy on nonconforming signs to be replaced.

THE CITY OF BERKLEY ORDAINS:

SECTION 1: Section 94-7 of Chapter 94 of the Berkley City Code shall be amended, as follows:

Sec. 94-7. Signs requiring permits

- (a) *Number permitted.* For each side of street frontage, one sign requiring a permit shall be permitted.
- (b) *Awning signs.*

Districts Permitted	Maximum Sign Area	Vertical Clearance from Ground Level	Maximum Projection into Right-of-Way	Other Regulations
Multiple Family Residential, High Rise Multiple Family Residential, Office, Downtown, Gateway Twelve Mile, Coolidge, Local Business, Woodward, Eleven Mile, Industrial	10% of adjoining wall; see other regulations for additional regulations based on the number of tenants in a building up to 100 square feet	Rigid Construction: 8 feet Soft Canvas: 7 feet	5 feet	For buildings with a single tenant, the maximum sign area is 100 square feet or 10% of adjoining wall, whichever is less. For buildings with more than one business in occupancy, the permitted signage for each business shall be less than or equal to 50% of the permitted signage. Using the area of the adjacent wall associated with the business, the total area of all signs for each business in a multi-tenant building must be equal to or less than the maximum sign area in this table or 100 square feet, whichever is less.

- (c) *Monument signs.*

Districts Permitted	Maximum Sign Area	Maximum Height	Minimum Setback	Other Regulations
Single Family Residential, R-2,	15 square feet per sign face	3.5 feet	3 feet	In single family residential districts,

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Districts Permitted	Maximum Sign Area	Maximum Height	Minimum Setback	Other Regulations
Multiple Family Residential, Greenfield				signs are permitted for institutional uses. For buildings with more than one business in occupancy, a single sign may be installed per building in addition to any individual signs for tenants.
High Rise Multiple Family Residential, Office, Local Business, Twelve Mile, Coolidge, Eleven Mile Industrial, Woodward Cemetery	40 square feet per sign face 50 square feet per sign face	7 feet	3 feet	
Parking	15 square feet per sign face	3.5 feet	3 feet	

(d) *Pole signs.*

Districts Permitted	Maximum Sign Area	Maximum Height	Minimum Setback	Other Regulations
Local Business, Gateway, Twelve Mile, Coolidge, Woodward, Industrial, Eleven Mile	40 square feet per sign face	20 feet	5 feet	For buildings with more than one business in occupancy, a single sign may be installed per building in addition to any individual signs for tenants.

(e) *Pylon signs.*

Districts Permitted	Maximum Sign Area	Maximum Height	Minimum Setback	Other Regulations
Office, Local Business, Gateway, Twelve Mile, Coolidge, Industrial, Eleven Mile	40 square feet per sign face	10 feet	3 feet	For buildings with more than one business in occupancy, a single sign may be installed per building in addition to any individual signs for tenants.
Woodward, cemetery	50 square feet per sign face	10 feet	3 feet	
Parking	15 square feet per sign face	8 feet	3 feet	

(f) *Projecting signs.*

Districts Permitted	Maximum Sign Area	Vertical Clearance from Ground Level	Maximum Projection into Right-of-Way	Other Regulations
Office, Downtown, Local Business, Gateway, Twelve Mile, Coolidge, Woodward, Industrial, Eleven Mile	10% of adjoining wall; up to 100 square feet see other regulations for additional regulations based on the number of tenants in a building	Rigid Construction: 8 feet Soft Canvas: 7 feet	5 feet	For buildings with a single tenant, the maximum sign area is 100 square feet or 10% of adjoining wall, whichever is less. For buildings with more than one business in occupancy, the permitted signage for each business shall be less than or equal to 50% of the permitted signage. Using the area of the adjacent wall associated with the business, the total area of all signs for each business in a multi-tenant building must be equal to or less than the maximum sign area in this table or 100 square feet, whichever is less.

(g) *Roof signs.*

Districts Permitted	Maximum Sign Area	Maximum Height	Other Regulations
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Office, Downtown, Local Business, Woodward, Industrial	10% of adjoining wall; up to 100 square feet See other regulations for additional regulations based on the number of tenants in a building.	No higher than roof structure	For buildings with a single tenant, the maximum sign area is 100 square feet or 10% of adjoining wall, whichever is less. For buildings with more than one business in occupancy, the permitted signage for each business shall be less than or equal to 50% of the permitted signage. Using the area of the adjacent wall associated with the business, the total area of all signs for each business in a multi-tenant building must be equal to or less than the maximum sign area in this table or 100 square feet, whichever is less.
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(h) *Wall signs.*

Districts Permitted	Maximum Sign Area	Other Regulations
Single Family Residential, R-2, Multiple Family Residential, Greenfield	6 square feet	In single family residential districts, signs are permitted for institutional uses. For buildings with more than one business in occupancy, the permitted signage maximum sign area for each business shall be less than or equal to 50% of the permitted signage 6 square feet. The total sign area must be equal to or less than 18 square feet.
High Rise Multiple Family Residential, Office, Downtown, Local Business, Gateway, Twelve Mile, Coolidge, Eleven Mile, Woodward, Industrial	10% of adjoining wall; up to 100 square feet see other regulations for additional regulations based on the number of tenants in a building	For buildings with a single tenant, the maximum sign area is 100 square feet or 10% of adjoining wall, whichever is less. For buildings with more than one business in occupancy, the permitted signage for each business shall be less than or equal to 50% of the permitted signage. Using the area of the adjacent wall associated with the business, the total area of all signs for each business in a multi-tenant building must be equal to or less than the maximum sign area in this table or 100 square feet, whichever is less.

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SECTION 2: Section 94-12 of Chapter 94 of the Berkley City Code shall be amended, as follows:

Section Sec. 94-12. Nonconforming Signs

No nonconforming sign or its support structure:

- (1) Shall be replaced by another nonconforming sign;
- (2) ~~Shall have any changes made in the words or symbols used or the message displayed on the sign;~~
Shall be structurally altered so as to prolong the life of the sign or so as to change the shape, size, type, or design of the sign;
- (3) Shall be reestablished after the activity, business, or usage to which it relates has been discontinued for 90 days or longer;
- (4) Shall be reestablished after damage or destruction if the estimated expense of reconstruction exceeds 35 percent of the appraised replacement cost.

~~The words or symbols used, or the message displayed on a nonconforming sign, or its support structure may be replaced as long as the nonconformity is not increased.~~

SECTION 3: Severability Clause

Should any word, phrase, sentence, paragraph, or section of this Ordinance be held invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

SECTION 4: Penalty

All violations of this ordinance shall be municipal civil infractions and upon determination of responsibility therefore shall be punishable by a civil fine of not more than \$500, and/or such other sanctions and remedies as prescribed in Article IX of Chapter 82 of the Code of Ordinances.

SECTION 5: Effective Date

This Ordinance shall become effective 30 days following the date of adoption.

SECTION 6: Publication

The City Council directs the City Clerk to publish a summary of this ordinance in compliance with Public Act 182 of 1991, as amended, and Section 6.5 of the Berkley City Charter.

Introduced on the First Reading at the Regular City Council Meeting on Monday, September 19, 2022.

Passed on the Second Reading at the Regular City Council Meeting on Monday, October 3, 2022.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

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CITY OF BERKLEY
COMMUNITY DEVELOPMENT
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: City Council

From: Kristen Kapelanski, Community Development Director

Subject: Proposed Amendments to Sections 94-7 and 94-12 of the City Code: Second Reading

Date: September 28, 2022

Proposed are amendments to the Sign Ordinance of the City Code to address outdated provisions that neglected to account for multi-tenant building signage and prevented new and existing business owners from providing updated signage to identify their new business or aesthetically update existing signage.

The ordinance currently limits all buildings to a maximum sign area of 10% of the wall area up to 100 square feet, which does not account for multi-tenant businesses where signage for several tenants can easily exceed 100 square feet. Staff proposes leaving this standard in place for single tenant buildings but also including standards for multi-tenant buildings that permit each tenant signage equal to 10% of their 'façade area' or 100 square feet, whichever is less.

Secondly, the amendment proposes the removal of a provision prohibiting a business from making changes to the copy of non-conforming signs. Presently, each time a change in text to a non-conforming sign is proposed, the applicant must appear before the Zoning Board of Appeals. This would allow new and existing businesses to update the text on their existing sign through the typical sign permitting process via staff.

The first reading of the amendment was approved by the City Council on September 19, 2022. No changes were requested at that meeting and no changes have been made.

A PROCLAMATION
of the Council of the City of Berkley, Michigan
Proclaiming October 10, 2022, as Indigenous Peoples Day

P-33-22

- WHEREAS,** the idea of Indigenous Peoples Day was first proposed in 1977 by a delegation of Native Nations to the United Nations-sponsored International Conference on Discrimination Against Indigenous Populations in the Americas; and
- WHEREAS,** in 1990, representatives from 120 Indigenous Nations at the First Continental Conference on 500 Years of Indian Resistance unanimously passed a resolution to transform Columbus Day into an opportunity to reveal historical truths about pre-existing indigenous cultures that have survived an often-violent colonization process and continue to exist and thrive in present-day America; and
- WHEREAS,** the United States endorsed the United Declaration on the Rights of Indigenous Peoples on December 16, 2010, and Article 15 of that declaration states:
- Indigenous peoples have the right to the dignity and diversity of their cultures, traditions, histories, and aspirations, which shall be appropriately reflected in education and public information.
 - States should take effective measures, in consultation and cooperation with the indigenous peoples concerned, to combat prejudice and eliminate discrimination, and to promote tolerance, understanding, and good relations among Indigenous peoples and all other segments of society; and
- WHEREAS,** the state of Michigan recognizes the presence of the three major groups in the state today, the Chippewa (Ojibwe), Ottawa (Odawa), and Potawatomi (Bodéwadmik), who have lived upon this land since time immemorial, and values the progress our society has accomplished through Native American thought and culture; and
- WHEREAS,** the Tribal Council of the Grand Traverse Band of Ottawa and Chippewa Indians has passed a resolution to officially recognize Indigenous Peoples Day on the second Monday in October; and
- WHEREAS,** the resolution states that Indigenous Peoples Day shall be used to reflect upon the ongoing struggles of Indigenous peoples on this land, and to celebrate the thriving cultures and values that the Odawa, Ojibwe, Potawatomi, and other indigenous peoples contribute to society; and
- WHEREAS,** on this second Monday of October, we should honor the historic, cultural, and contemporary significance of Indigenous peoples and their ancestral lands that also became known as the Americas and celebrate their contributions to communities throughout Michigan, the United States, and all over the world.

NOW, THEREFORE, THE CITY OF BERKLEY HEREBY PROCLAIMS

SECTION 1: That the day of October 10, 2022, is hereby proclaimed as *Indigenous Peoples Day* in the City of Berkley.

Proclaimed this 3rd day of October 2022 at a Regular Meeting of the Berkley City Council.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

A RESOLUTION
Of the council of the City of Berkley, Michigan
Recognizing Joe Ozanich for achieving the rank of Eagle Scout

WHEREAS, Joe Ozanich will graduate from Berkley High School in 2023 and has participated in The Berkley High School Marching Band, also serving as the Marching Band section leader, Jazz Band, and National Honors Society; and

WHEREAS, Joe Ozanich has been active in scouting for the past 11 years, earning the rank(s) of Scout, Tenderfoot, Second Class, First Class, Star, Life, Order of the Arrow, and has served as the Assistant Senior Patrol Leader, Patrol Leader, and Bugler of Troop 1085; and

WHEREAS, Joe Ozanich is planning to attend Lake Superior State University, in the fall with the intent to major in Criminal Justice; and

WHEREAS, Joe Ozanich, to attain the rank of Eagle Scout, worked with Angell Elementary School to build an outdoor classroom to celebrate its 100th anniversary of being a school; and

WHEREAS, Joe Ozanich passed his Eagle Board of Review on August 29, 2022. Joe Ozanich has earned a total of 27 merit badges.

NOW, THEREFORE, THE CITY OF BERKLEY HEREBY PROCLAIMS

SECTION 1: That the City Council does hereby recognize and congratulates

Joe Ozanich

For his achievement in attaining the rank of Eagle Scout and expresses our pride in his accomplishments as a role model for others.

Proclaimed this 3rd day of October 2022 at a Regular Meeting of the Berkley City Council.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

A RESOLUTION
Of the council of the City of Berkley, Michigan
Recognizing Ian Burmeister for achieving the rank of Eagle Scout

WHEREAS, Ian Burmeister will graduate from Berkley High School in 2024 and has participated in The Berkley High School Marching Band, National Honors Society and Screen Writers Club; and

WHEREAS, Ian Burmeister has been active in scouting for the past 11 years, earning the rank(s) of Arrow of Light, Tenderfoot, Second Class, First Class, Star, and Life, and has served as the Troop Historian, Patrol Leader, Assistant Senior Patrol Leader, and Senior Patrol Leader of Troop 1085; and

WHEREAS, Ian Burmeister, to attain the rank of Eagle Scout, worked with Berkley First Methodist Church, Bikes 4 Kids, Yad Ezra, Building Beds 4 Kids, and Berkley Public Schools; and

WHEREAS, Ian Burmeister passed his Eagle Board of Review on June 20, 2022. Ian Burmeister has earned a total of 38 merit badges, 13 of them being Eagle required which are some of the most difficult in Scouting. Ian Burmeister is one of the 4% to achieve this honor nationally.

NOW, THEREFORE, THE CITY OF BERKLEY HEREBY PROCLAIMS

SECTION 1: That the City Council does hereby recognize and congratulates

Ian Burmeister

For his achievement in attaining the rank of Eagle Scout and expresses our pride in his accomplishments as a role model for others.

Proclaimed this 3rd day of October 2022 at a Regular Meeting of the Berkley City Council.

Daniel J. Terbrack, Mayor

Attest:

Victoria Mitchell, City Clerk

October 3, 2022 City Council Meeting

Moved by Councilmember _____ and seconded by Councilmember
_____ to approve marihuana business license #PMA20-0029 for Seven Points
Dispensing of Michigan LLC to be located at 28557 Woodward Ave.

Ayes:

Nays:

Motion:

Application Number	Applicant Entity	Principal Address	Final Score as Adopted by City Council on January 18, 2022
PMA20-0003	Operation Grow / butter	2222 W. Eleven Mile Road	315
PMA20-0015	Quality Roots	3916 W. Eleven Mile Road	310
PMA20-0007	Yellow Tail Ventures LLC #1	3120 Eleven Mile	301
PMA20-0010	Attitude Wellness dba Lume	1949 Twelve Mile Road	301
PMA20-0029	Seven Points Dispensing of Michigan LLC	28557 Woodward Ave	301
PMA20-0025	Berkley Corners PRV LLC	28297 Woodward Ave.	297
PMA20-0011	Green Bronco III	2200 W. Eleven Mile Road	296
PMA20-0013	FPAW Michigan LLC	3750 W. Eleven Mile Road	289
PMA20-0024	3895 Euclid LLC dba Dispo	27733 Woodward Ave	286
PMA20-0002	Bud McCool's	27253 Woodward Ave	281
PMA20-0031	Oak Flint LLC	27723 Woodward Ave	279
PMA20-0005	BDE Warren LLC	2033 Coolidge	278
PMA20-0004	Nature's Remedy	2351 Twelve Mile Road	275
PMA20-0027	GS Ashley, LLC	3890 W. Eleven Mile Road	274
PMA20-0016	SJMB	3376 Twelve Mile Road	273
PMA20-0009	Yellow Tail Ventures LLC #2	28401 & 28453 Woodward	271
PMA20-0028	Warren Capital Holdings, LLC	2640 Eleven Mile Road	266
PMA20-0019	Pure Roots	28173 Woodward	265
PMA20-0023	Grassroots ReLeaf LLC	27423 Woodward Ave.	256
PMA20-0008	CAK Holdings	4129 Twelve Mile	242
PMA20-0012	DSD Investors LLC	3515 Twelve Mile Road	226
PMA20-0021	Leaf Master dba Puff Cannabis	3171 Twelve Mile Road	226
PMA20-0026	Fire Farm LLC	3670 Twelve Mile Road	217
PMA20-0030	Candid Labs LLC	28505 Woodward Ave	208
PMA20-0006	PBG Enterprises dba Pleasantrees	2448 Eleven Mile Road	DNQ
PMA20-0014	Berkley Herbal Center	3280 W. Eleven Mile Road	DNQ
PMA20-0017	123 Ventures	1716 Coolidge	DNQ
PMA20-0018	GS Bay City LLC	3800 W. Eleven Mile	DNQ
PMA20-0020	Pure Life I	2998 Eleven Mile Road	DNQ
PMA20-0022	Pure Life II	2114 Eleven Mile Road	DNQ
	Applicant is able to apply for Site Plan Review before Planning Commission		
	Applicants are tied for third ranking but are able to apply for Site Plan Review at own risk.		

THE SPECIAL MEETING OF THE BERKLEY CITY PLANNING COMMISSION WAS CALLED TO ORDER AT 7:00 PM, SEPTEMBER 13, 2022 AT BERKLEY CITY HALL BY CO-CHAIR LISA KEMPNER.

The minutes from this meeting are in summary form capturing the actions taken on each agenda item. To view the meeting discussions in their entirety, this meeting is broadcasted on the city's government access channel, WBRK, every day at 9AM and 9PM. The video can also be seen, on-demand, on the city's YouTube channel: <https://www.youtube.com/user/cityofberkley>

PRESENT: Shiloh Dahlin Matteo Passalacqua
Joe Bartus
Lisa Kempner

ABSENT: Greg Patterson, Lisa Hamameh

ALSO, PRESENT: Kristin Kapelanski, Community Development Director
John McNally, 1408 Wiltshire, Berkley
Ellorie Silver, 1363 Wiltshire, Berkley

Motion by Commissioner Dahlin to excuse the absences of Commissioner Patterson and Commissioner Hamameh. Motion supported by Commissioner Passalacqua.

Voice Vote to approve the absence of Commissioner Patterson and Commissioner Hamameh.

AYES: 4
NAYS: 0
ABSENT: Hamameh, Patterson

MOTION CARRIED

APPROVAL OF AGENDA

Motion by Commissioner Passalacqua to approve the agenda supported by Commissioner Dahlin.

Voice vote to approve the agenda

AYES: 4
NAYS: 0
ABSENT: Hamameh, Patterson

MOTION CARRIED

COMMUNICATIONS

NONE

CITIZEN COMMENTS

NONE

OLD BUSINESS

NONE

NEW BUSINESS

- 1. PSP-15-22: 28557 Woodward – Seven Point Provisioning Center:** The applicant, Seven Point Dispensing of Michigan, LLC on behalf of Greenside Trust, is requesting site plan approval for conversion of an existing building to a retail marihuana dispensary and office use at 28557 Woodward

Avenue, Parcel #04-25-17-257-025, on the west side of Woodward Avenue between Wiltshire Road and Franklin Road.

Community Development Director Kapelanski summarized the application, stating that this application does meet all the ordinances and staff is all recommending approval of the plan. Community Development Director Kapelanski stated that she did receive communication after business hours from Mr. Daniel Veres opposing the approval.

Applicant Presentation

Gabe Ruben
Partner of 7-point dispensing LLC

Brian Howard
Architect, HF: architecture

Brian Sinnott
Civil Engineer, Fleece and VandenBrink

David Rozanski
Scott Roberts Law

The Applicant, Mr. Ruben reviewed the conditional rezoning application that was withdrawn in the previous application of 1299 Wiltshire and 1276 Franklin. The applicant also described the proposed site plan and floor plan, exterior elevations, parking lot redevelopment incorporating more landscaping, and stormwater management.

The applicant discussed in depth with the Planning Commission about parking and number of employees with the previous parking reports that were presented in prior meetings.

Citizen Comments

Jonas Rymer, 1628 Harvard - Stated he is in support of this plan, it will bring money to the city. He is happy to see that there is a bike rack, repair station, and Mo Go rental. He believes Berkley should be more bicycle friendly and a step in the right direction. He stated that the parking minimum needs to be abolished and a parking maximum put in place. He believes Berkley should become more people centric, providing examples of other cities that have done this.

John McNally, 1408 Wiltshire - Stated that the site plan does not fit the intended use. He stated that the number of employees and security that would be there equal more than the number of parking spaces they have presented. He would like to request that no employee should park on the street and suggested a one-hour parking limit or permitted parking. He also stated that it appeared that the ADA parking space does not meet the minimum requirements.

Mary Glenn, 1350 Franklin - Stated that the rendering is an improvement. She would like to know if the business hours can be changed, is there a possibility that the screen walls can be raised from 6ft to 7ft, if security cameras will be tied into Berkley Public Safety, signage by the benches not to smoke, a left turn only onto Franklin, vermin mitigation, and recommending not to use the tacky LED lights.

Joann Stenquist, 1343 Wiltshire - Addressed the hours. Feels the seven days a week is more excessive than what Berkley has right now. It would show respect to the residents if they reduce their hours of operation. She also suggested an idea of closing fully on Sunday.

Ed Lash, 1511 Wiltshire - Stated he wants clarification to the on-street parking of Wiltshire. He also asked if there has been or will be a light pollution study done, and where will the snow or snow plowing be pushed and will spaces be lost because of that operation or is it taken off-site.

Email from Daniel Veres, 1336 Franklin - read into correspondence
Email from Thomas Rolewicz Jr., 1350 Franklin - read into correspondence

The Applicants responded to some of the concerns that were presented in the Citizens Comments, including the ADA parking space, left turn onto Franklin, photometric plan, snow storage/removal, and an EV charging station.

Community Development Director Kapelanski addressed the permitted parking suggestion, security cameras, vermin mitigation, the screen wall with ordinance requirements.

The applicants addressed the parking on Wiltshire, additional parking agreements, and business hours.

The applicant stated that most of the employees are Berkley residents, hopefully mitigating the parking issue of encouraging them to seek alternatives. There also was agreement of raising the six (6) ft. screen wall to seven (7) ft.

Commission Bartus asked the applicants for clarification on the traffic signal for pedestrians on the corner of the building.

The Planning Commission discussed the no left turn sign. They concluded that with the no left turn sign it would push traffic to other side streets making that heavy trafficked, and residents/customers would stay on Woodward, and the signage was not needed.

The Planning Commission discussed the seven (7ft) screen wall suggestion. There was a concern about creating an inconsistent look along the corridor with other six (6) ft walls in the area. It was noted that other projects have increased wall heights and the taller height would create a sound barrier on the property line with no green buffer.

The Planning Commission agreed that landscaping meets the intent of the master plan, and would like to see the existing grades show on the plan for HRC review.

Motion by Commissioner Bartus to approve **PSP-15-22: 28557 Woodward – Seven Point Provisioning Center** subject to findings and conditions:

- Stated in the staff report
- Landscape review meets master plan
- The screen wall is seven (7) ft.
- The applicant shows existing grades

Motion supported by Commissioner Dahlin.

AYES: Bartus, Kempner, Passalacqua, Dahlin

NAYS: 0

ABSENT: Hamameh, Patterson

MOTION CARRIED

LIAISON REPORT

NONE

COMMISSIONER COMMENTS

Co-Chair Kempner thanked the residents for attending the meeting and expressing their thoughts and concerns.

STAFF COMMENTS

Community Development Director Kapelanski reminded the board that there is a meeting at the end of the month including ordinance discussion items. There is a potential of a second special meeting in October on the 11th.

ADJOURNMENT

Motion to adjourn by Commissioner Dahlin supported by Commissioner Bartus.

Voice vote for adjournment

AYES: 4

NAYS: 0

ABSENT: Hamameh, Patterson

With no further business, the meeting was adjourned at 8:08 p.m.



CITY OF BERKLEY
COMMUNITY DEVELOPMENT
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: Planning Commission
From: Kristen Kapelanski, Community Development Director
Subject: **PSP-15-22: 28557 Woodward – Seven Point Provisioning Center
Site Plan Approval**
Date: September 9, 2022

The applicant, Seven Point Dispensing of Michigan, LLC on behalf of Greenside Trust, is requesting site plan approval for conversion of an existing building to a retail marihuana dispensary and office use at 28557 Woodward Avenue on the west side of Woodward Avenue between Wiltshire Road and Franklin Road.

Attached are the following reviews for the site plan submitted:

Planning Review from Carlisle Wortman Associates (CWA) dated August 18, 2022

CWA noted no outstanding items to be corrected on the plans in their review. The Planning Commission should review the proposed landscaping and confirm it is consistent with Section 130-37, which requires the Planning Commission to confirm the proposed landscaping is consistent with the Master Plan.

Review from City of Berkley Department of Public Works (DPW) dated August 24, 2022

DPW noted the following comments:

1. The City's engineering consultant, Hubbell, Roth & Clark (HRC) will review the geotechnical report, storm water detention calculations and grading.
2. A traffic control plan is required prior to final approval.
3. Prior to construction, the applicant will need to provide any approvals or comments received from the Michigan Department of Transportation regarding access to Woodward Avenue.

Engineering Review from Hubbell, Roth & Clark (HRC) dated August 24, 2022

HRC recommended approval of the proposed Site Plan subject to the following:

1. The stormwater collected from the roof should be directed into the proposed underground system where it can be detained
-

Review from City of Berkley Fire Inspector

Fire Inspector Jon Roberts stamped the plan set approved on July 29, 2022.

Summary and Recommendation

Staff recommends the Planning Commission approve the plan with the following findings and conditions:

1. Planning Commission finding that the proposed landscaping is consistent with Section 130-37 of the Zoning Ordinance; and
2. Compliance with the items noted in the DPW August 24, 2022 and HRC August 24, 2022 review letters.

SEVEN POINT: ADULT USE RETAIL AND PROVISIONING CENTER

28557-28531 WOODWARD AVENUE
BERKLEY, MICHIGAN

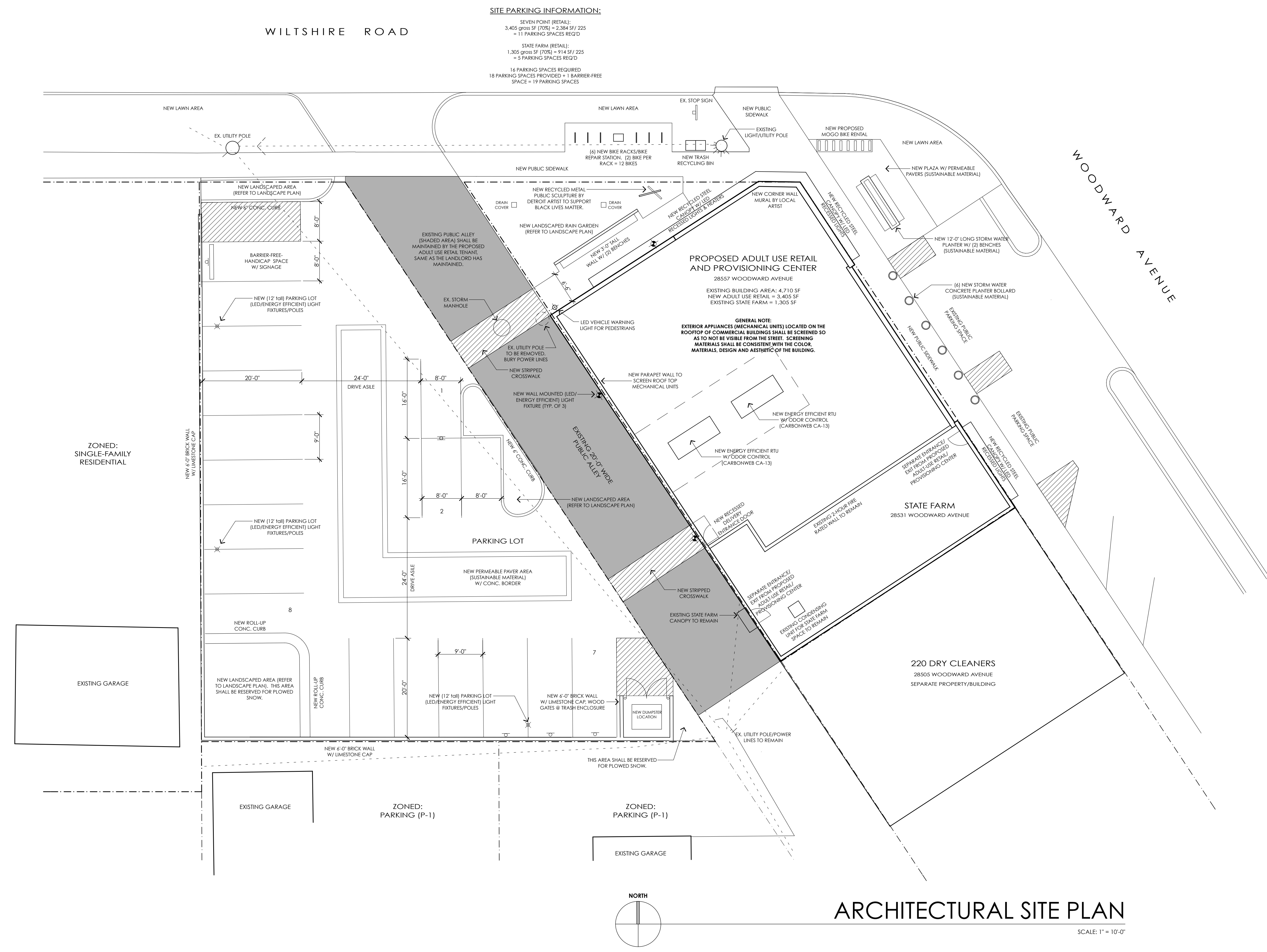
ARCHITECTURAL SHEET INDEX:

ARCHITECTURAL SITE PLAN	AS00
BOUNDARY/TOPOGRAPHIC SURVEY	
PROPOSED FLOOR PLAN	A101
WOODWARD AVENUE (EAST) ELEVATION	A200
WILTSHIRE ROAD (NORTH) ELEVATION	A201
PUBLIC ALLEY (WEST) ELEVATION	A202
PHOTOMETRIC PLAN	
EXTERIOR COLOR RENDERING	
EXISTING CONDITIONS/DEMOLITION PLAN	C101
SITE LAYOUT PLAN	C102
SIGNAGE/WAYFINDING PLAN	C103
GRADING PLAN	C104
STORM WATER MANAGEMENT PLAN	C105
SITE DETAILS	C501
SITE STORM WATER DETAILS	C502
MAINTENANCE OF TRAFFIC	C503
LANDSCAPE PLAN	L101
LANDSCAPE DETAILS	L501

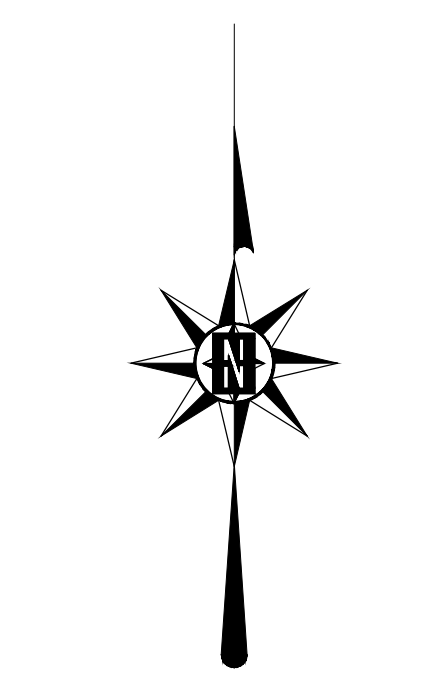
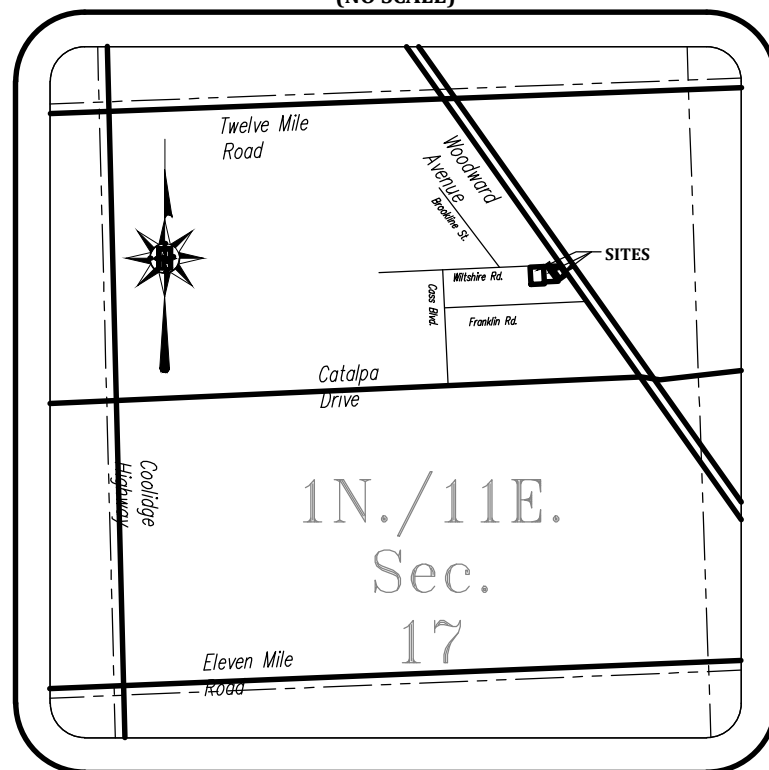


AREA LOCATION PLAN

SCALE: 1" = 500'-0"



SITE LOCATION MAP
(NO SCALE)



LEGEND

FOUND MONUMENTATION	●
BOLLARD	○
SET MONUMENTATION	□
SECTION CORNER	+
RECORD MEAS.	—
FIELD MEAS.	...
PRIORITIZED DIST.	...
PROPERTY LINE	---
SECTION LINE	---
EASEMENT LINE	---
PARCEL LINE	---
PLATTED LINE	---
FENCE LINE	---
STORM SEWER	SS
SANITARY SEWER	SS
WATER LINE/MAIN	W
CAS LINE/MAIN	W
OVERHANG LINE	OH
BURIED CABLE	B
BURIED ELEC.	E
GAS METER	G
GAS SHUT OFF	G
GAS MARKER/FLAG	G
WATER MANHOLE	W
HYDRANT	H
WATER SHUT OFF	W
WATER METER	W
WATER MARKER/FLAG	W
STORM MANHOLE	S
STORM BASIN	S
STORM BEHIVE BASIN	S
STORM OUTLET	S
SAN. MANHOLE	S
SAN. CLEANOUT	S
SAN. MARKER/FLAG	S
COMM. MANHOLE	C
COMM. PEDESTAL	C
COMM. MARKER	C
LIGHT POLE	L
UTILITY POLE	U
POWER TRANSFORMER	P
ELEC. MARKER/FLAG	E
ELEC. METER	E
GRND. WTR. MON. WELL	W
SIGN	S
AIR CONDITIONING UNIT	A
FOUND CONC. MON.	F
FIR	F
FOUND CAPPED PIPE	F
FOUND IRON PIPE	F
FOUND MAG. NAIL	F
FOUND "X" ETCHED	F
FOUND PINCHED PIPE	F
FOUND CAPPED T-IRON	F
FOUND CAPPED IRON	F
FOUND R.R. SPIKE	F
FOUND ANGLE IRON	F
FENCE POST	F
SET ETCHED "X"	S
SET MAG. NAIL	S
BACK OF CURB	B
TOP OF PIPE	T
GUY WIRE	G
TOP OF CURB	T
CURB CUTTER	C
HIGH POINT	H
LOW POINT	L
FINISHED GRADE	F
FINISHED FLOOR	F
MATCH EX. GRADE	M
AS-BUILT MEAS.	A
POINT OF CURVE	P
POINT OF REV. CURVE	P
POINT OF COMP. CURVE	P
RIGHT OF WAY	R
POINT OF BEGIN.	P
POINT OF COMMENCE.	P
EX. SPOT ELEVATION	E
PROPOSED ELEVATION	XXX.XX
DECIDUOUS TREE	●
EVERGREEN TREE	●

LEGAL DESCRIPTIONS

PARCEL ID# 25-17-257-025
PART OF LOTS 356-358 INCLUSIVE AND PART OF THE ADJACENT VACATED WILTSHIRE ROAD (60 FEET WDE), OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHWESTERLY CORNER OF SAID LOT 358; THENCE NORTH 33 DEGREES 37 MINUTES 16 SECONDS WEST 115.96 FEET; THENCE NORTH 89 DEGREES 51 MINUTES 45 SECONDS EAST 67.83 FEET; THENCE SOUTH 33 DEGREES 37 MINUTES 16 SECONDS EAST 78.63 FEET; THENCE SOUTH 56 DEGREES 28 MINUTES 30 SECONDS WEST 56.56 FEET TO THE POINT OF BEGINNING, CONTAINING 0.13 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-008
LOT 427, OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS, CONTAINING 0.17 ACRES OF LAND MORE OR LESS. SUBJECT TO ANY AND ALL EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-007
LOT 205, OF "STEPHENSON-BARBER'S OAKLAND MANORS SUB'N", OF PART OF SECTION 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 22 OF OAKLAND COUNTY RECORDS, CONTAINING 0.29 ACRES OF LAND MORE OR LESS. SUBJECT TO ANY AND ALL EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-024
LOT 425, OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS, CONTAINING 0.21 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

PARCEL ID# 25-17-257-023
LOT 426, OF "VINSETTA PARK", A SUBDIVISION BEING PART OF SECTIONS 16 AND 17, TOWN 1 NORTH, RANGE 11 EAST, ROYAL OAK TOWNSHIP (NOW THE CITY OF BERKLEY), OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 12 OF PLATS ON PAGE 30 OF OAKLAND COUNTY RECORDS, CONTAINING 0.16 ACRES OF LAND MORE OR LESS. ALSO SUBJECT TO ANY OTHER EASEMENTS OR RIGHT OF WAYS OF RECORD IF ANY.

ZONING REQUIREMENTS

R-1B SINGLE FAMILY RESIDENTIAL

PARCEL ID# 25-17-257-007
LOT - MIN. AREA: 8,800 FT.²
MIN. WIDTH: 80 FT.
COVERAGE - MAX. BLD.: 35%
SETBACKS - FRONT YARD: 25 FT.
- REAR YARD: 20 FT.
- SIDE YARD: 5 FT.
- SIDE TOTAL: 15 FT.
HEIGHT - MAX. BLD.: 30 FT.
EXISTING CONDITIONS
LOT - AREA: 12,822 FT.²
- WIDTH: 100 FT.
COVERAGE - BLD.: 3,146 FT.² 24.5%

PARKING DISTRICT

PARCEL ID# 25-17-257-008
LOT - MIN. AREA: N/A
MIN. WIDTH: N/A
COVERAGE - MAX. BLD.: N/A
HEIGHT - MAX. BLD.: 15 FT.
EXISTING CONDITIONS
LOT - AREA: 7,518 FT.²
- WIDTH: 30 FT.
COVERAGE - BLD.: VACANT - PARKING LOT

WOODWARD DISTRICT

PARCEL ID# 25-17-257-025
LOT - MIN. AREA: N/A
MIN. WIDTH: N/A
COVERAGE - MAX. BLD.: XX%
SETBACKS - FRONT YARD: 10 FT.
- REAR YARD: 10 FT.
- SIDE YARD: XX FT.
- SIDE TOTAL: XX FT.
HEIGHT - MAX. BLD.: 50 FT.
EXISTING CONDITIONS
LOT - AREA: 5,503 FT.²
- WIDTH: 79 FT.
COVERAGE - BLD.: 4,705 FT.² 85.5%

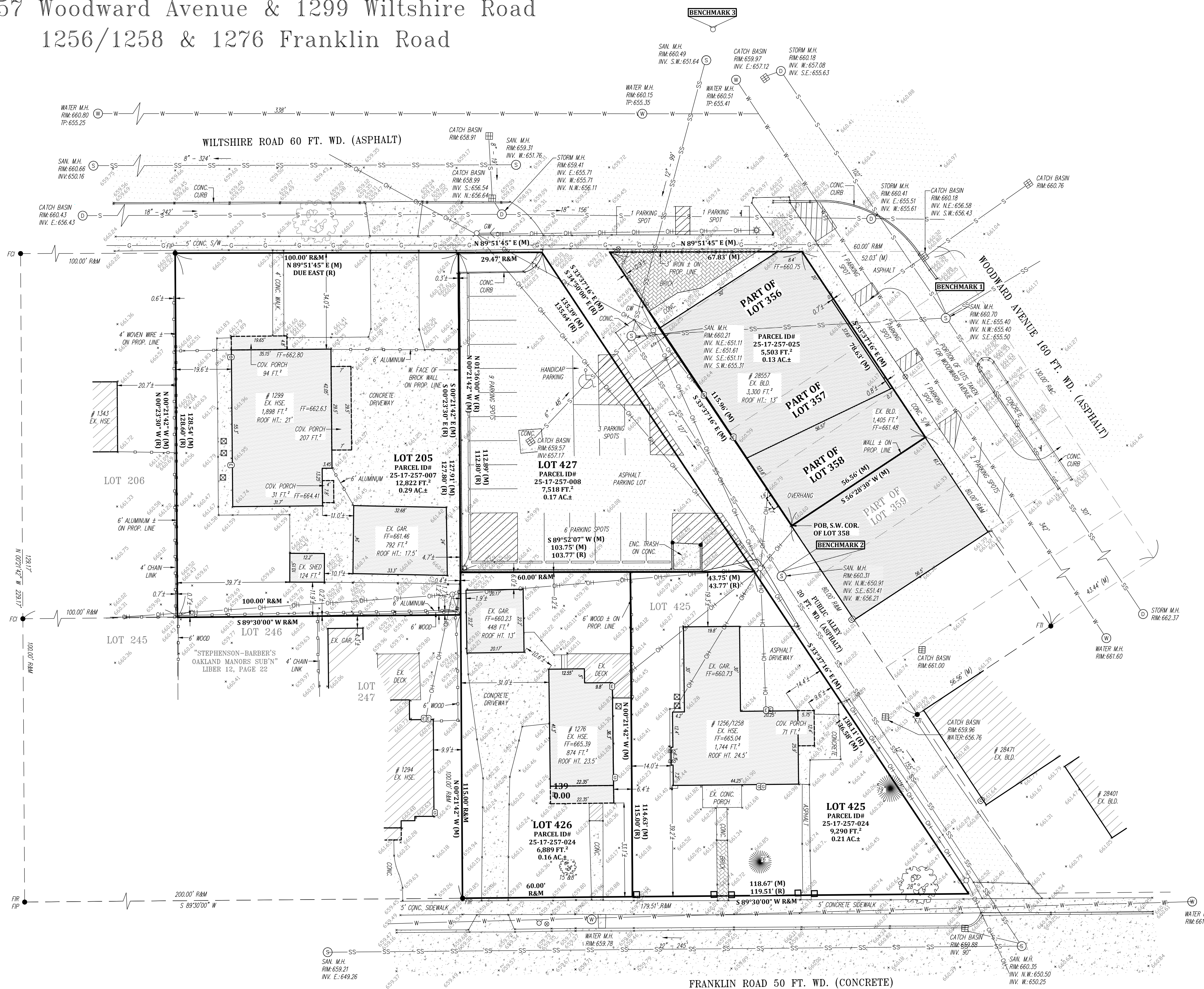
R-2 TWO FAMILY RESIDENTIAL

PARCEL ID# 25-17-257-024
LOT - MIN. AREA: 4,000 FT.²
MIN. WIDTH: 40 FT.
COVERAGE - MAX. BLD.: 35%
SETBACKS - FRONT YARD: 25 FT.
- REAR YARD: 35 FT.
- SIDE YARD: 5 FT.
- SIDE TOTAL: 15 FT.
HEIGHT - MAX. BLD.: 30 FT.
EXISTING CONDITIONS
LOT - AREA: 9,290 FT.²
- WIDTH: 100 FT.
COVERAGE - BLD.: 1,815 FT.² 19.5%

R-2 TWO FAMILY RESIDENTIAL

PARCEL ID# 25-17-257-023
LOT - MIN. AREA: 4,000 FT.²
MIN. WIDTH: 40 FT.
COVERAGE - MAX. BLD.: 35%
SETBACKS - FRONT YARD: 25 FT.
- REAR YARD: 35 FT.
- SIDE YARD: 5 FT.
- SIDE TOTAL: 15 FT.
HEIGHT - MAX. BLD.: 30 FT.
EXISTING CONDITIONS
LOT - AREA: 6,889 FT.²
- WIDTH: 80 FT.
COVERAGE - BLD.: FT.² %

BOUNDARY AND TOPOGRAPHIC SURVEY
28557 Woodward Avenue & 1299 Wiltshire Road
1256/1258 & 1276 Franklin Road



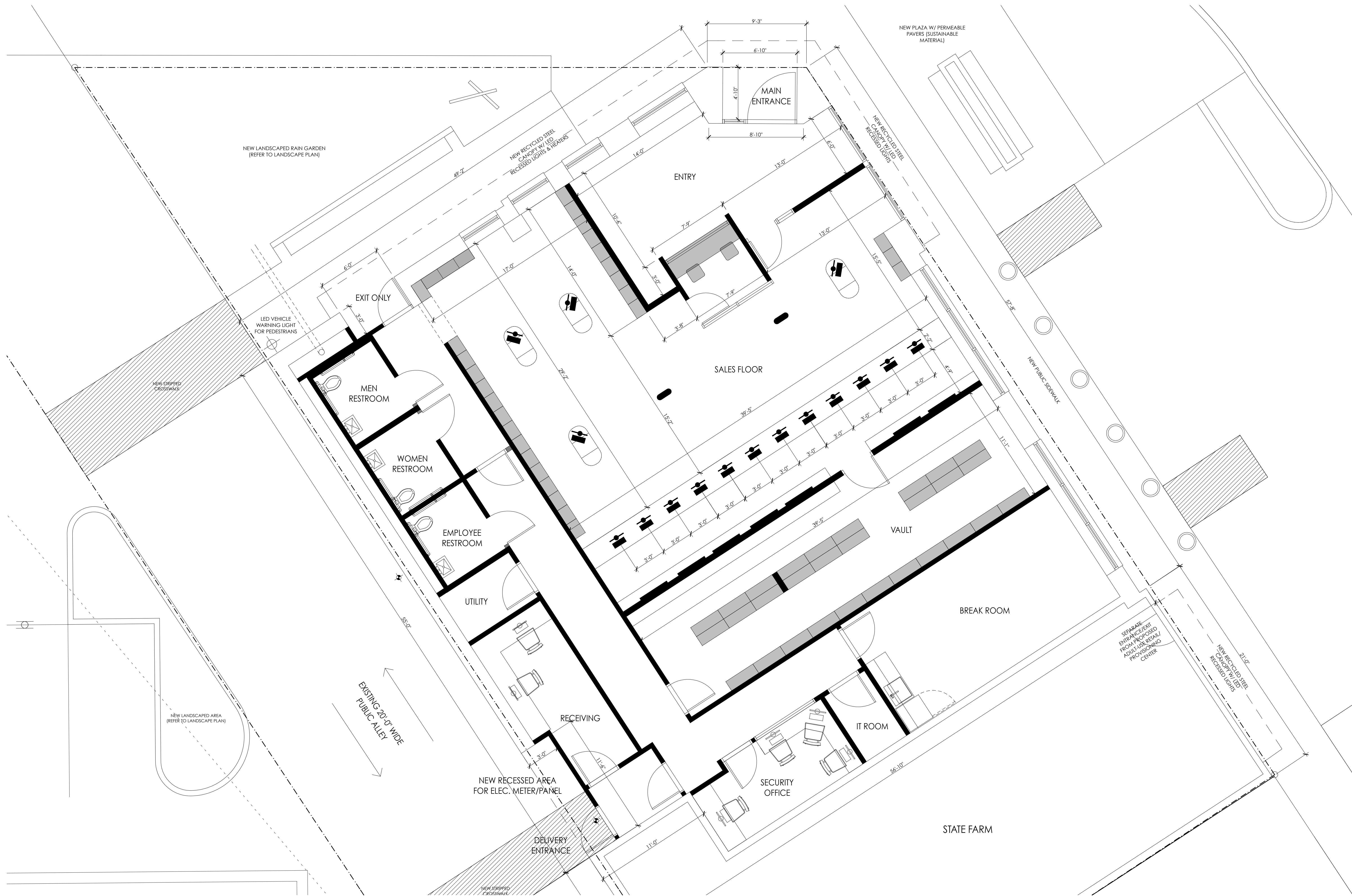
Boundary & Topographic Survey

-007 PART OF "STEPHENSON-BARBER'S OAKLAND MANORS SUB'N." BEING PART OF N.E. ¼ OF SEC. 17, T.1N., R.11E., CITY OF BERKLEY, OAKLAND CO., MICH.
-008, -025, -024, -023 PART OF "VINSETTA PARK" BEING PART OF N.E. ¼ OF SEC. 17, T.1N., R.11E., CITY OF BERKLEY, OAKLAND CO., MICH.



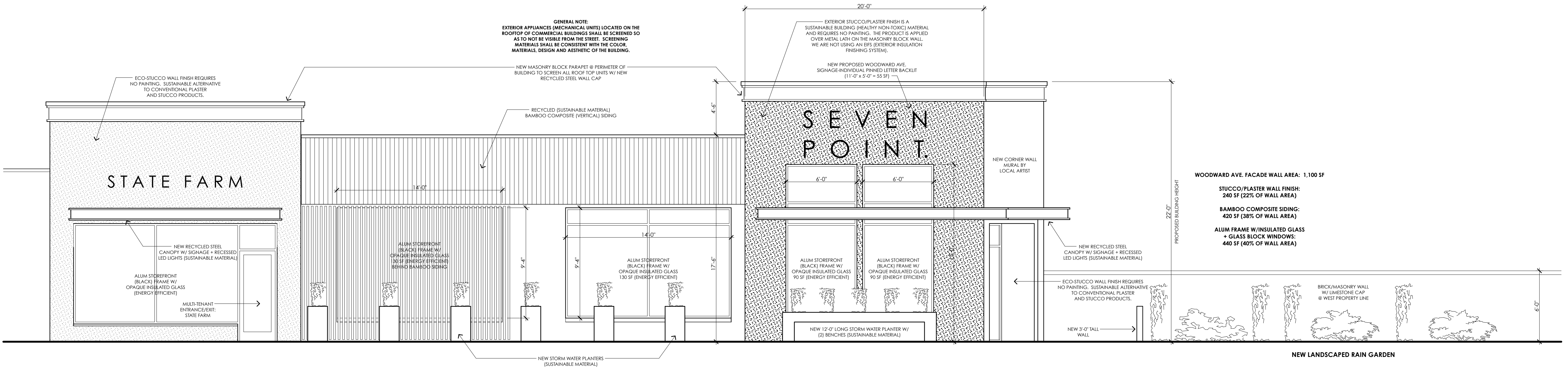
SECTION: N.E. 1/4 Sec. 17 DATE: 4/28/22 CLIENT: Seven Point Dispensing of Michigan, LLC - Brad Zerman/Gabe Rubin
TN./RGE.: 1N./11E. PROJ. #: 022-031 1419 West Belle Plaine
CITY/TWP: Berkley DWC. BY: JCP Chicago, IL 60613
COUNTY: Oakland 1 INCH = 20 FEET PAGE # 1 OF 1

I, Michael J. Nowry, a Professional Surveyor in the State of Michigan do hereby certify that the parcel of land described and delineated hereon has been surveyed under my supervision, that the plot hereon is a true representation of the survey as performed, that the error of closure is no greater than 1" in 5000 and that I have fully complied with the requirements of Section 3, Public Act 132 of 1970.
Michael J. Nowry Professional Surveyor # 52472



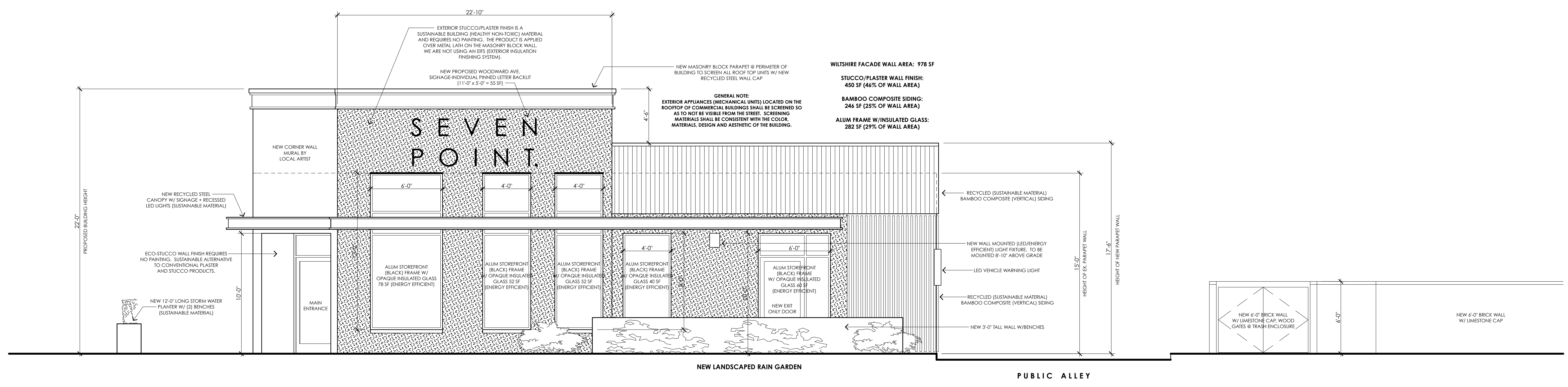
PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



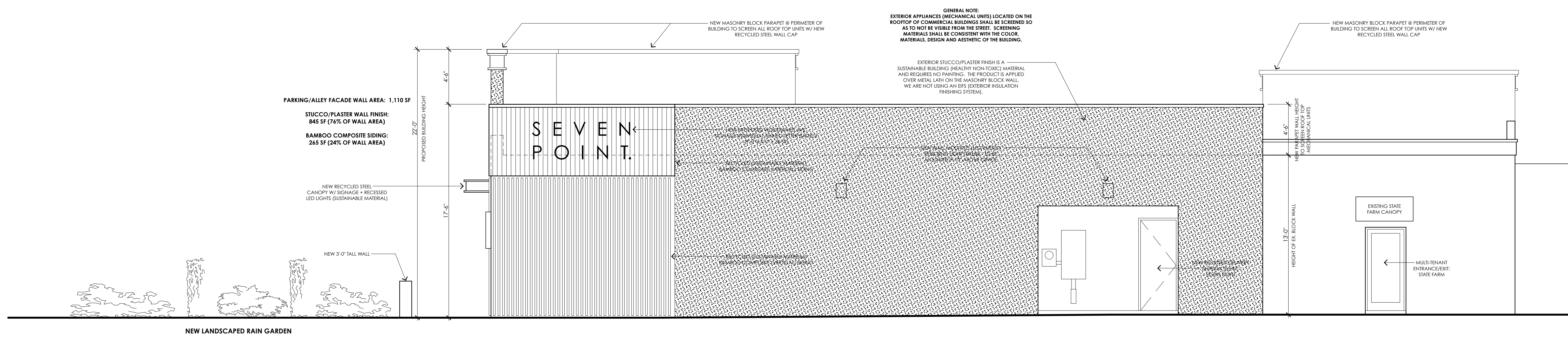
WOODWARD AVENUE (EAST) ELEVATION

SCALE: 1/4" = 1'-0"



WILTSHIRE ROAD (NORTH) ELEVATION

SCALE: 1/4" = 1'-0"



PUBLIC ALLEY (WEST) ELEVATION

SCALE: 1/4" = 1'-0"



Category	Area Luminaire
Series	RSX1
Type	Area Luminaire

Introduction
The new RSX LED Area family delivers maximum value by providing significant energy savings, long life and outstanding photometric performance at an affordable price. The RSX1 delivers 7,000 to 17,000 lumens allowing it to replace 70W to 400W HID luminaires.

The RSX features an integral universal mounting mechanism that allows the luminaire to be mounted on most existing drill hole patterns. This "no-drill" solution provides significant labor savings. An easy-access door on the bottom of mounting arm allows for wiring without opening the electrical compartment. A mast arm adaptor, adjustable integral slipfitter and other mounting configurations are available.

Specifications

EPA (H=0°):	0.57 ft ² (0.05 m ²)
Length:	21.8" (55.4 cm) (SPA mount)
Width:	13.3" (33.8 cm)
Height:	3.0" (7.6 cm) Main Body 7.2" (18.4 cm) Arm
Weight (max):	31.0 lbs (14.1 kg)

Ordering Information EXAMPLE: RSX1 LED P4 40K R3 MVOLT SPA DDBXD

Series	Performance Package	Color Temperature	Distribution	Voltage	Mounting
RSX1 LED	P1	50K	R2	MVOLT (120V-277V) ¹	SPA
	P2	40K	R3	MVOLT (120V-480V) ¹	RPA
	P3	50K	R3S	(use specific voltage for options as noted)	MA
	P4	50K	R4	120 ¹ / 277 ¹	WA
			R4S	208 ¹ / 347 ¹	WBA
			R5	240 ¹ / 480 ¹	WBC
			R5S		WBCS
			AFR		AKSP
			AFR89		AKSPF
			AFR90		AKSW
					AKSWC

Options	Finish
Shipped Installed HS: Haze-shield PE: Photometric external shield, adjustable PK: Photometric external shield, adjustable PER2: Seam-view back-lock recastate only (see catalog) CE34: Control entry 3/4" x 1" (8y/2) SF: Single face (120, 277, 347) DF: Double face (208, 347, 480) SPDREV: 200V Surge protector (standard) FAD: Field adjustable output DMS: 0-10V dimming external back of housing for external control (control ordered separately)	DDBXD: Dark Bronze DBLXD: Black DNAXD: Natural Aluminum DWHXD: White DDBRD: Textured Dark Bronze DBLRD: Textured Black DNAXRD: Textured Natural Aluminum DWHXR: Textured White

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
 Lithonia RSX1 Area LED Rev. 02/17/20 Page 1 of 9



Category	Wall Luminaire
Series	OLWX1
Type	Wall Luminaire

Introduction
The OLWX1 is versatile and energy efficient. It is designed to replace up to 250W metal halide while saving over 87% in energy costs. Whether you are mounting it to a recessed junction box, conduit, through wiring, as an up light, as a down light, or as a flood light – the OLWX1 has all applications covered.

Specifications

Width:	7-1/2" (190 mm)
Height:	6" (152 mm)
Depth:	3" (76 mm)
Weight:	5 lbs (2.3 kg)

Ordering Information EXAMPLE: OLWX1 LED 20W 50K

Series	Performance Package	Color Temperature	Voltage	Controls	Finish
OLWX1 LED	13W	50K	MVOLT ¹	(blank)	Dark bronze
	20W	40K	120 ¹ / 277V	(blank)	
	40W	50K	120 ¹ / 277V	(blank)	

Accessories

QUX1TK	Tube for QUX1
QUX1TR	Bracket for QUX1

FEATURES & SPECIFICATIONS
INTENDED USE
The versatility of the OLWX1 LED luminaire is a sleek, low profile wall pack design with energy efficient, low maintenance LEDs for replacing up to 250W metal halide fixtures. Mounting accessories are available to convert the OLWX1 LED into an energy efficient flood light.

CONSTRUCTION
Cast-aluminum housing with textured dark bronze polyester powder paint for durability. Integral heat sink optimizes thermal management through conductive and convective cooling. LEDs are protected behind a glass lens. Housing is sealed against moisture and environmental contaminants (IP65 rated). See Lighting Facts label and photometry reports for details.

ELECTRICAL
Light engine consists of 1 high-efficiency Chip On Board (COB) LED with integrated circuit board mounted directly to the housing to maximize heat dissipation and promote long life (L70/100,000 hours at 25°C). Electronic drivers have a power factor >= 0.95 and THD < 20% and a minimum 2.5V surge rating. Flood light mounting accessories include an additional 60V surge protection device. LEDs are available in 4000K and 5000K CCT.

INSTALLATION
Easily mounts to recessed junction boxes with the included wall mount bracket, or for surface mounting and conduit entry with the included junction box with low 1/2" threaded conduit entry hubs. Flood light mounting accessories (sold separately) include brackets, integral slipfitters and pole mounting options. Each flood mount accessory comes with a slip-wear and vented guard. Luminaires may be wall or ground mounted in downward or upward orientation.

LISTINGS
UL Listed to U.S. and Canadian safety standards for wet locations. Rated for -40° C minimum ambient. Tested in accordance with IESNA LM-79 and LM-80 standards. DesignLights Consortium (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Product List at www.designlights.org to confirm which versions are qualified.

WARRANTY
3-year limited warranty. Complete warranty terms located at www.lithonia.com/led-warranty-terms-conditions.

Note: Actual performance may differ as a result of end-use environment and application. All values are design or typical values, measured under laboratory conditions at 25 °C. Specifications subject to change without notice.

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PARKING LOT	X	1.6 fc	5.3 fc	0.2 fc	26.5:1	8.0:1	0.3:1
PROPERTY LINE	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	N/A
PUBLIC ALLEY	X	0.9 fc	3.9 fc	0.0 fc	N/A	N/A	0.2:1
ZONED: SINGLE-FAMILY RESIDENTIAL	+	0.0 fc	0.2 fc	0.0 fc	N/A	N/A	0.0:1

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Schedule

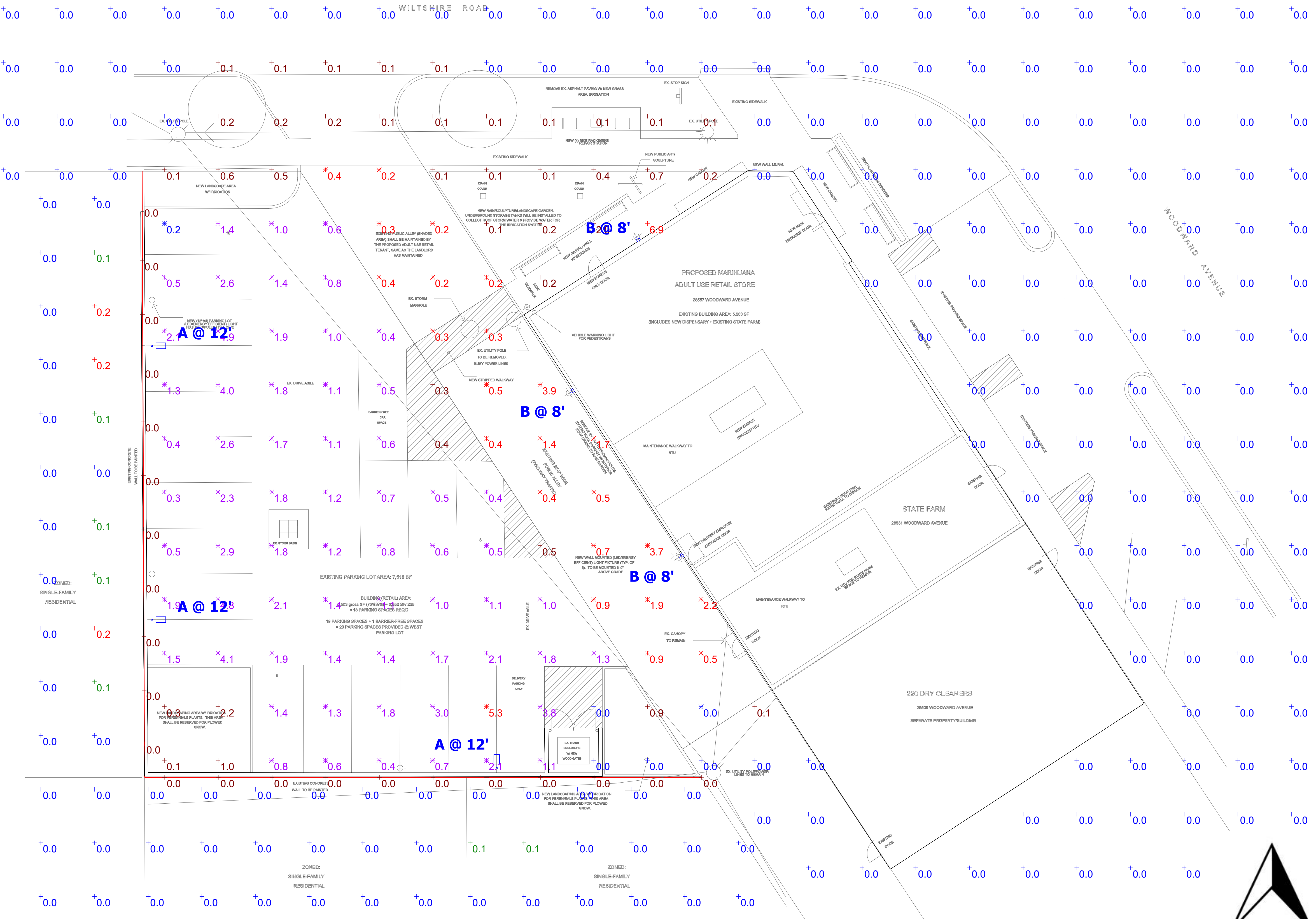
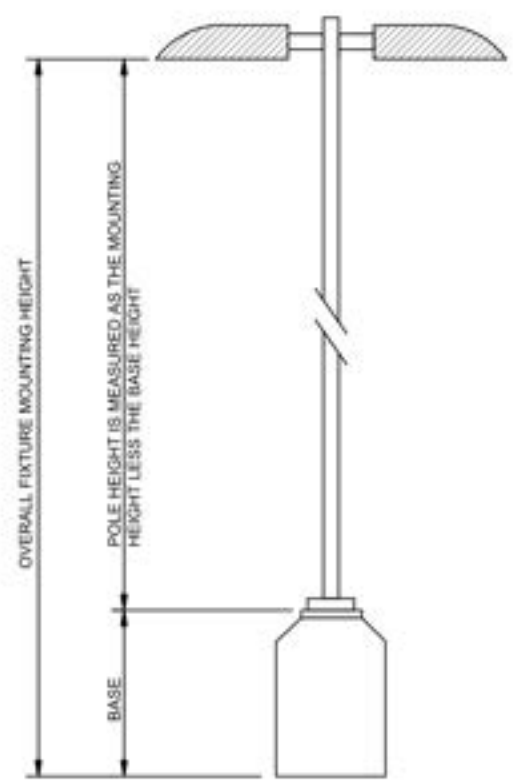
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Lumens per Lamp	LLF	Wattage	Luminaire Height	Tilt
A	A	3	Lithonia Lighting	RSX1 LED P1 40K R4 1S HS	RSX Area Fixture Size 1 P1 Lumen Package 4000K CCT Type R4 Distribution with HS Shield	LED	1	5223	0.9	51.3435	12'-0"	10°
B	B	3	Lithonia Lighting	OLWX1 LED 20W 40K DDB	20W 4000K LED WALL PACK	LED	1	1840	0.9	21.77	8'-0"	0°

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.



Plan View
Scale - 1" = 10ft

One Lithonia Way • Conyers, Georgia 30012 • Phone: 1-800-705-SERV (7378) • www.lithonia.com
 OLWX1 LED Rev. 01/29/20

GBA

SEVEN POINT BERKLEY
 PHOTOMETRIC SITE PLAN
 PREPARED FOR: HF ARCHITECTURE
 GASSER BUSH ASSOCIATES
 WWW.GASSERBUSH.COM

Designer TV/KB
 Date 5/22/2020
 rev. 8/18/2022
 Scale Not to Scale
 Drawing No. #20-50343-V2
 1 of 1



State Farm

SEVEN
POINT




SEVEN
POINT

SEVEN
POINT

STOP

SEVEN POINT

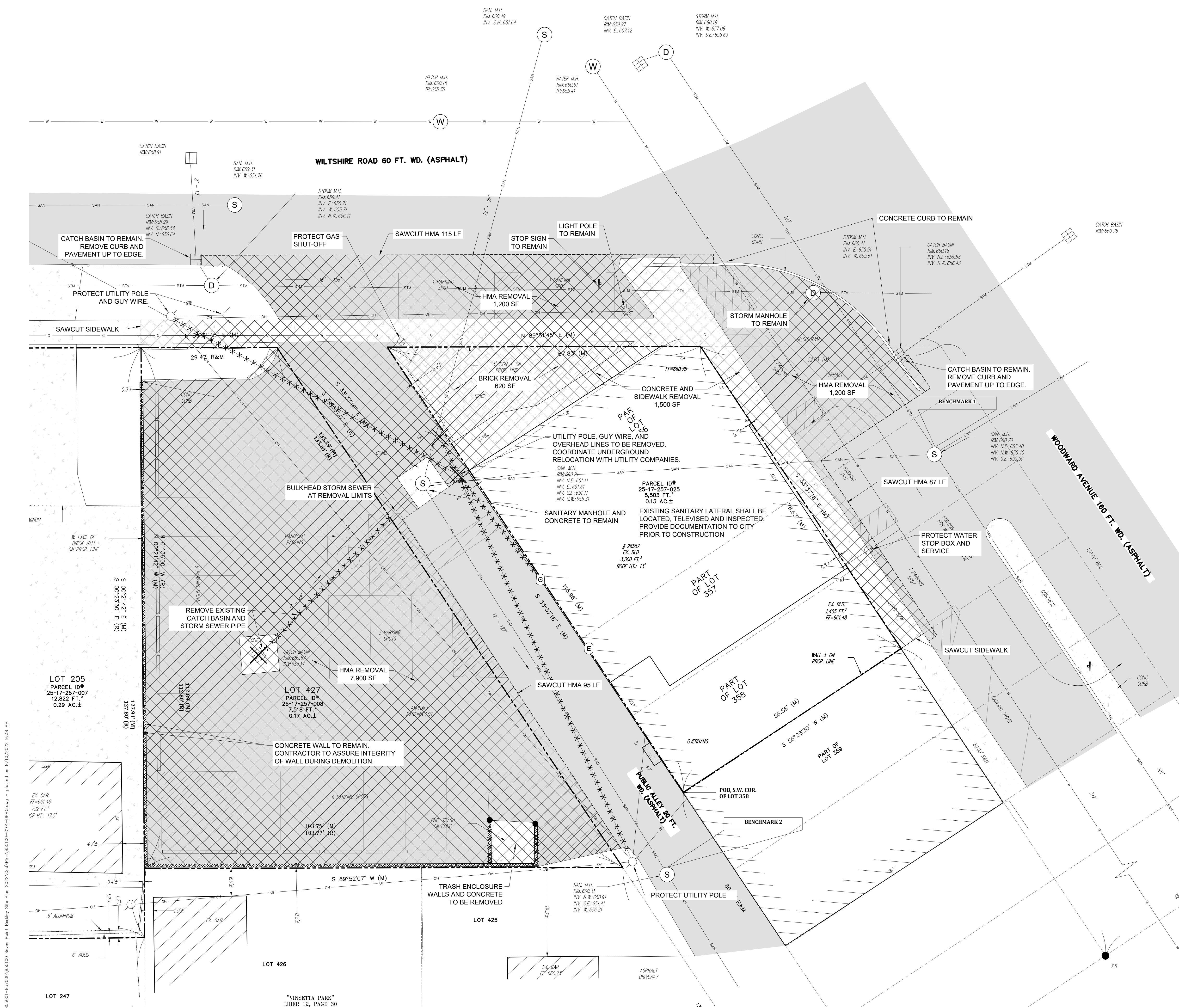


SEVEN
POINT

The image shows a modern building facade under a bright blue sky with scattered white clouds. The building has a dark, textured main section and a lighter, vertically-slatted section on the left. The slatted section features the text 'SEVEN POINT' in a bold, sans-serif font. To the right, a white building with a red 'State Farm' sign is partially visible. The foreground includes a paved area with yellow diagonal stripes and some greenery.

State Farm





DEMOLITION NOTES:

THE WORK REFLECTED ON THE DEMOLITION PLAN IS TO PROVIDE GENERAL INFORMATION REGARDING THE EXISTING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR IS RESPONSIBLE TO REVIEW THE ENTIRE PLAN SET AND ASSOCIATED REPORTS AND REFERENCE DOCUMENTS.

THE DESIGN REPRESENTED BY THIS PLAN SET IS BASED ON THE ENGINEER'S UNDERSTANDING OF EXISTING CONDITIONS. THE EXISTING CONDITIONS SHOWN ON THIS PLAN ARE BASED UPON BOUNDARY AND TOPOGRAPHIC SURVEY PREPARED BY WOLFE & HALE LAND SURVEYORS, L.L.C. DATED 04-01-2022. IF CONTRACTOR DOES NOT ACCEPT EXISTING TOPOGRAPHY AS SHOWN ON THE PLANS WITHOUT EXCEPTION, CONTRACTOR SHALL HAVE MADE, AT OWN EXPENSE, A TOPOGRAPHIC SURVEY BY A REGISTERED LAND SURVEYOR AND SUBMIT IT TO THE OWNER FOR REVIEW.

CONTRACTOR IS SPECIFICALLY CAUTIONED THAT LOCATIONS OF EXISTING UTILITIES SHOWN ON THIS PLAN HAVE BEEN DETERMINED FROM INFORMATION AVAILABLE. ENGINEER ASSUMES NO RESPONSIBILITY FOR THE UTILITY MAPPING ACCURACY. PRIOR TO START OF ANY DEMOLITION OR CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES 48 HOURS PRIOR TO ANY EXCAVATION FOR ON-SITE LOCATION OF EXISTING UTILITIES. THE LOCATIONS OF UTILITIES SHALL BE OBTAINED BY THE CONTRACTOR BY CALLING MICHIGAN UTILITY NOTIFICATION CENTER (MUSC) AT 811. THE CONTRACTOR SHALL FIELD VERIFY ALL IDENTIFIED UTILITIES FOR LOCATION AND DEPTH PRIOR TO CONSTRUCTION. ANY DISCREPANCY BETWEEN THIS INFORMATION AND THE INFORMATION REPRESENTED ON THIS PLAN SET SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER. CONTRACTOR SHALL NOTIFY ENGINEER OF ANY OTHER UNDERGROUND MATERIALS OR EQUIPMENT ENCOUNTERED DURING EXCAVATION NOT SPECIFICALLY NOTED ON THIS PLAN SET.

ALL DEMOLITION ACTIVITIES SHALL BE PERFORMED IN ACCORDANCE WITH LOCAL, STATE, AND FEDERAL CODES AND LAWS. ALL MATERIAL THAT IS NOT SUITABLE AS BACKFILL AND MATERIALS THAT ARE EXCESS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL REGULATIONS.

CONTRACTOR SHALL BE RESPONSIBLE FOR APPLYING FOR AND OBTAINING ALL NECESSARY DEMOLITION PERMITS AND PAYING FOR ANY ASSOCIATED PERMIT FEES.

CONTRACTOR SHALL PROTECT THE PUBLIC AT ALL TIMES WITH FENCING, BARRICADES, ENCLOSURES, ETC. CONTINUOUS ACCESS SHALL BE MAINTAINED FOR THE SURROUNDING PROPERTIES AT ALL TIMES DURING DEMOLITION OF THE EXISTING FACILITIES. CONTRACTOR SHALL PREPARE AND SUBMIT TO THE GOVERNING AUTHORITY A TRAFFIC AND/OR PEDESTRIAN TRAFFIC PLAN PER STATE STANDARDS TO BE APPROVED BY THE LOCAL GOVERNING AUTHORITY. CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING VEHICULAR AND PEDESTRIAN TRAFFIC CONTROL DEVICES SUCH AS BARRICADES, WARNING SIGNS, DIRECTIONAL SIGNS, FLAGGING PERSONNEL, AND LIGHTS TO CONTROL THE MOVEMENT OF TRAFFIC WHERE NECESSARY. TRAFFIC CONTROL DEVICES SHALL CONFORM TO APPROPRIATE DEPARTMENT OF TRANSPORTATION STANDARDS.

PRIOR TO DEMOLITION OR EARTHWORK OCCURRING, ALL EROSION CONTROL DEVICES SHALL BE INSTALLED.

WHERE CURBING OR PAVEMENT IS INDICATED TO BE REMOVED, IT SHALL BE SAWCUT FULL DEPTH. CONCRETE ITEMS SHALL BE REMOVED TO THE NEAREST JOINT IF THE JOINT IS WITHIN 3 FEET OF THE REMOVAL LINE. CONTRACTOR SHALL LIMIT REMOVALS TO ONLY THAT WHICH IS REQUIRED AS SHOWN ON THIS PLAN SET BUT IF ANY DAMAGE IS INCURRED ON ANY OF THE SURROUNDING PAVEMENT, ETC., THE CONTRACTOR SHALL BE RESPONSIBLE FOR ITS REMOVAL AND REPAIR.

CONTRACTOR SHALL PROTECT EXISTING FEATURES WHICH ARE TO REMAIN. DAMAGE TO ANY EXISTING FEATURES TO REMAIN WILL BE REPLACED AT CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR ENSURING ALL UTILITIES ARE DISCONNECTED IN ACCORDANCE WITH THE UTILITY AUTHORITY'S REQUIREMENTS PRIOR TO STARTING THE DEMOLITION OF ANY STRUCTURE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THIS PLAN SET.

CONTRACTOR SHALL COORDINATE WITH RESPECTIVE UTILITY COMPANIES PRIOR TO REMOVAL AND/OR RELOCATION OF UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES CONCERNING POSITIONS OF WORK WHICH MAY BE PERFORMED BY THE UTILITY COMPANIES' FORCES AND ANY FEES WHICH ARE TO BE PAID TO UTILITY COMPANIES FOR SERVICES. CONTRACTOR IS RESPONSIBLE FOR PAYING ALL FEES AND CHARGES.

ELECTRICAL, TELEPHONE, CABLE, WATER, SANITARY, FIBER OPTIC, CABLE AND/OR GAS LINES NEEDING TO BE REMOVED OR RELOCATED SHALL BE COORDINATED WITH THE AFFECTED UTILITY COMPANY. ADEQUATE TIME SHALL BE PROVIDED FOR RELOCATION AND CLOSE COORDINATION WITH THE UTILITY COMPANY IS NECESSARY TO PROVIDE A SMOOTH TRANSITION IN UTILITY SERVICE.

CONTRACTOR SHALL DOCUMENT AND WITNESS ACTUAL LOCATIONS OF CAPPED UTILITIES, SUBSURFACE OBSTRUCTIONS, AND OTHER ITEMS WHICH WILL BE HIDDEN AFTER PROPOSED CONSTRUCTION ACTIVITIES.

ALL EXCAVATIONS ASSOCIATED WITH DEMOLISHED STRUCTURES OR REMOVED TANKS SHALL BE BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED TO SUPPORT SITE AND BUILDING IMPROVEMENTS. A GEOTECHNICAL ENGINEER SHOULD BE PRESENT DURING BACKFILLING ACTIVITIES TO OBSERVE AND CERTIFY THAT BACKFILL MATERIAL WAS COMPACTED TO A SUITABLE CONDITION.

EXISTING TREES AND OTHER NATURAL VEGETATION WITHIN THE PROJECT AND/OR ADJACENT TO THE PROJECT ARE OF PRIME CONCERN AND SHALL BE A RESTRICTED AREA. CONTRACTOR SHALL PROTECT TREES TO REMAIN AT ALL TIMES. EQUIPMENT SHALL NOT NECESSARILY BE OPERATED UNDER NEARBY TREES AND EXTREME CAUTION SHALL BE EXERCISED WHEN WORKING ADJACENT TO TREES. SHOULD ANY PORTION OF THE TREE BRANCHES REQUIRE REMOVAL TO PERMIT OPERATION OF THE CONTRACTOR'S EQUIPMENT, CONTRACTOR SHALL OBTAIN THE SERVICES OF A PROFESSIONAL TREE TRIMMING SERVICE TO TRIM THE TREE PRIOR TO THE BEGINNING OF OPERATION. SHOULD CONTRACTOR'S OPERATIONS RESULT IN THE BREAKING OF ANY LIMBS, THE BROKEN LIMBS SHALL BE REMOVED IMMEDIATELY AND CUTS SHALL BE PROPERLY PROTECTED TO MINIMIZE ANY LASTING DAMAGE TO THE TREE. NO TREES SHALL BE REMOVED WITHOUT AUTHORIZATION BY THE ENGINEER.

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GENERAL NOTES:

THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SITE RELATED PERMITS. CONTRACTOR IS REQUIRED TO COMPLETE THE APPLICATION AND SUBMIT NECESSARY DRAWINGS, ETC. TO THE APPROPRIATE JURISDICTION. CONTRACTOR SHALL PAY ALL FEES RELATED TO PERMITS(S) AND SECURE PERMITS(S) IN HIS NAME. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.

THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING WATER, SANITARY SEWER, AND STORM SEWER CROSSINGS AND CONNECTION POINTS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE UTILITY CONNECTIONS AND INSPECTIONS WITH THE PROPER JURISDICTION AND PAY ALL ASSOCIATED FEES.

THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY ENGINEER.

THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.

THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.

THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.

THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.

THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.

THE CONTRACTOR IS RESPONSIBLE FOR ANY Dewatering DESIGN AND OPERATIONS, AS REQUIRED, TO CONSTRUCT THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL OBTAIN ANY REQUIRED PERMITS FOR Dewatering OPERATIONS AND GROUNDWATER DISPOSAL.

THE CONTRACTOR IS REQUIRED TO REVIEW THE REFERENCED GEOTECHNICAL DOCUMENTS PRIOR TO CONSTRUCTION. THESE DOCUMENTS SHALL BE CONSIDERED A PART OF THE PLAN SET.

THE CONTRACTOR IS REQUIRED TO PREPARE SURFACE SOILS BENEATH ALL PROPOSED IMPROVEMENTS AND BACKFILL ALL EXCAVATIONS IN ACCORDANCE WITH RECOMMENDATIONS BY THE GEOTECHNICAL ENGINEER OF RECORD.

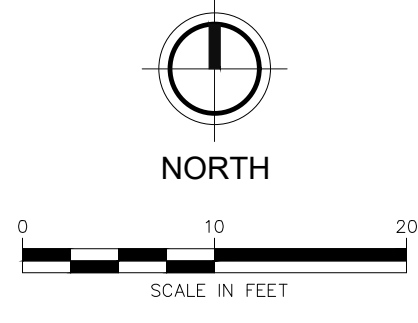
THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL OPEN EXCAVATIONS ARE PERFORMED AND PROTECTED IN ACCORDANCE WITH THE LATEST OSHA REGULATIONS.

THE CONTRACTOR SHALL LOCATE ALL SERVICE LEADS AND HAVE THEM INSPECTED BY A LICENSED CONTRACTOR/PLUMBER AND THE VIDEO FOOTAGE SUBMITTED TO THE CITY SHOWING THE LEAD IS SUITABLE FOR RE-USE PRIOR TO CONSTRUCTION.

A MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) RIGHT-OF-WAY PERMITS IS REQUIRED FOR WORK WITHIN WOODWARD ROAD RIGHT-OF-WAY AS WELL AS FOR CONSTRUCTION SIGNAGE.

REMOVAL LEGEND

SYMBOL	DESCRIPTION
XXXXX	CURB OR UTILITY TO BE REMOVED
X	TREE OR OBJECT TO BE REMOVED
XXXXXX	PAVEMENT TO BE REMOVED



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ZONING REQUIREMENTS:

PARKING DISTRICT PARCEL ID# 25-17-257-008 LOT - MIN. AREA: N/A HEIGHT - MAX. BLD.: 15 FT.	EXISTING CONDITIONS LOT - AREA: 7,518 FT. ²
WOODWARD DISTRICT PARCEL ID# 25-17-257-025 LOT - MIN. AREA: N/A - MIN. WIDTH: N/A COVERAGES - MAX. BLD.: N/A SETBACKS - FRONT YARD: 10 FT OR EQUAL TO ADJACENT - REAR YARD: 10 FT. - SIDE YARD: 0 FT. HEIGHT - MAX. BLD.: 50 FT.	EXISTING CONDITIONS LOT - AREA: 5,503 FT. ² - WIDTH: =79 FT. COVERAGES - BLD.: 4,705 FT. ² 85.5%

PARKING NOTES:

REQUIRED PARKING: SEVEN POINT - 2,384 SFT UFA @ 1/225 = 11 SPACES STATE FARM - 914 SFT UFA @ 1/225 = 5 SPACES TOTAL PARKING REQUIRED = 16 SPACES	PROVIDED PARKING: REGULAR PARKING SPACES: 12 COMPACT PARKING SPACES: 3 PRE-UP PARKING SPACES: 3 BARRIER FREE PARKING SPACES: 1 TOTAL PARKING COUNT: 19
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SITE PLAN NOTES:

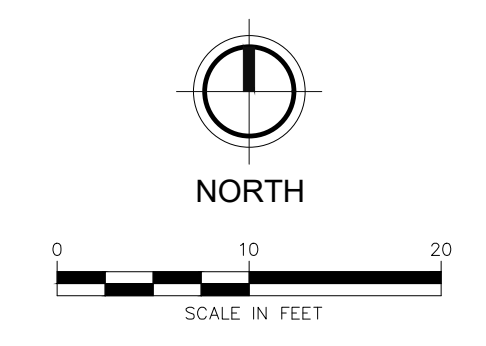
REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE DOOR STOOPS.
REFER TO ARCHITECTURAL FOUNDATION PLAN FOR DETAILING OF BUILDING AND EXACT BUILDING DIMENSIONS.
REFER TO LANDSCAPE PLAN FOR RESTORATION OF ALL NON PAVED SURFACES.
CONCRETE GUTTER PAN TO TIP IN THE SAME DIRECTION AS THE ADJACENT PAVEMENT.
THE LAST THREE FEET OF ALL CURBS SHALL BE DUBBED DOWN UNLESS OTHERWISE NOTED.
ALL PAVEMENT MARKINGS SHALL BE 4" WIDE. STANDARD PARKING SPACES SHALL BE MARKED IN YELLOW AND BARRIER FREE SPACES IN BLUE. EACH BARRIER FREE SPACE SHALL BE PROVIDED WITH A PAINTED PAVEMENT SYMBOL, A PRECAST CONCRETE BUMPER BLOCK, AND A SIGN PER THE MANUAL OF UNIFORM TRAFFIC CONTROLS.
ALL MDOT REFERENCES ARE TO THE 2012 EDITION.

GENERAL UTILITY NOTES:

THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY ENGINEER IMMEDIATELY IN WRITING.
THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY ENGINEER.
ALL WATER LINES SHALL BE VERTICALLY SEPARATED FROM SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASEMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY ENGINEER.
THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE ENGINEER FOLLOWING COMPLETION OF WORK.

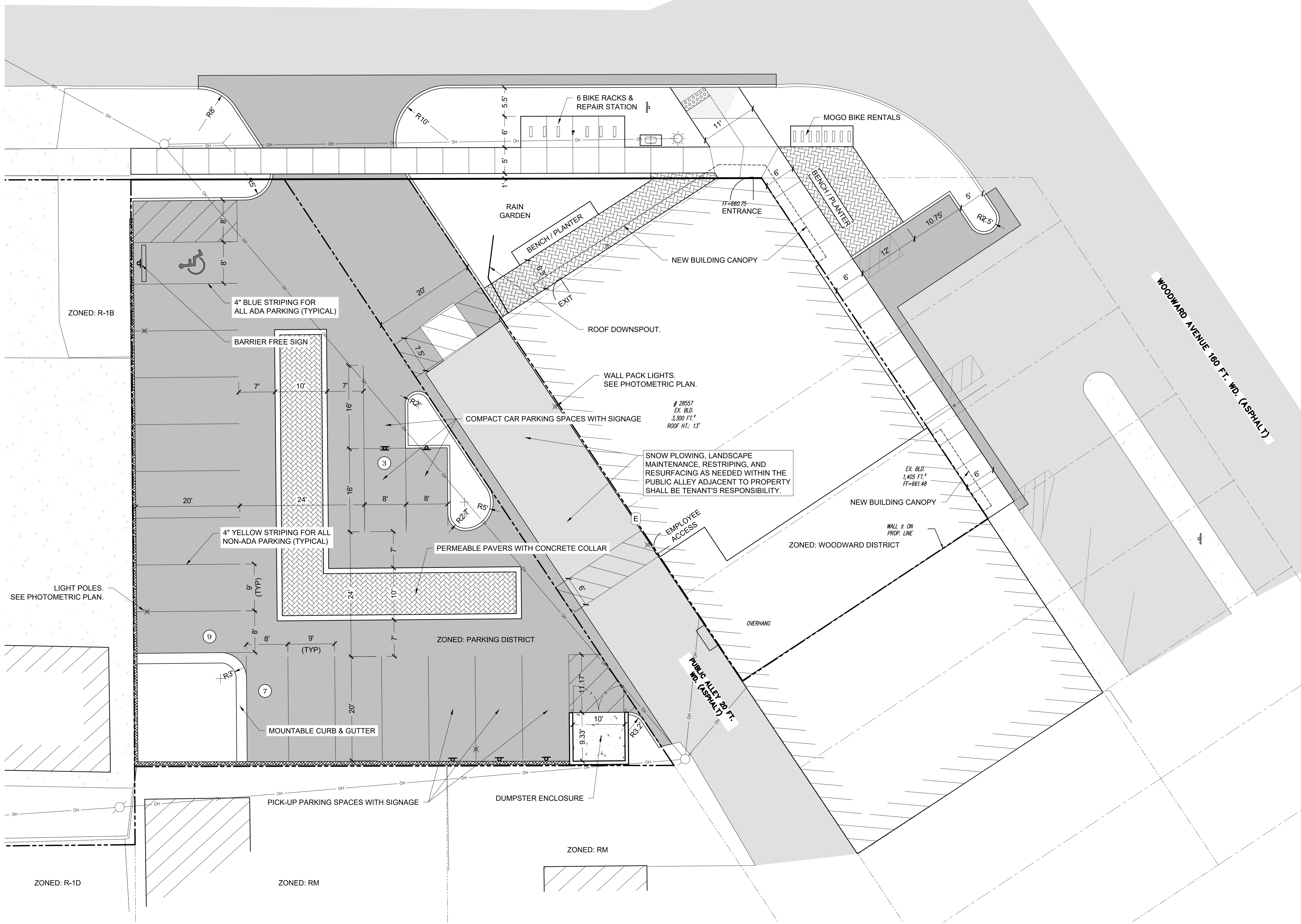
PROPOSED LEGEND

□ SIGN	▨ SIDEWALK RAMP	— CONCRETE WHEEL STOP
● BOLLARD	▨ CONCRETE SIDEWALK	▨ CONCRETE PAVEMENT
	▨ BITUMINOUS PAVEMENT	▨ PERMEABLE PAVERS
	▨ LANDSCAPE CURB	



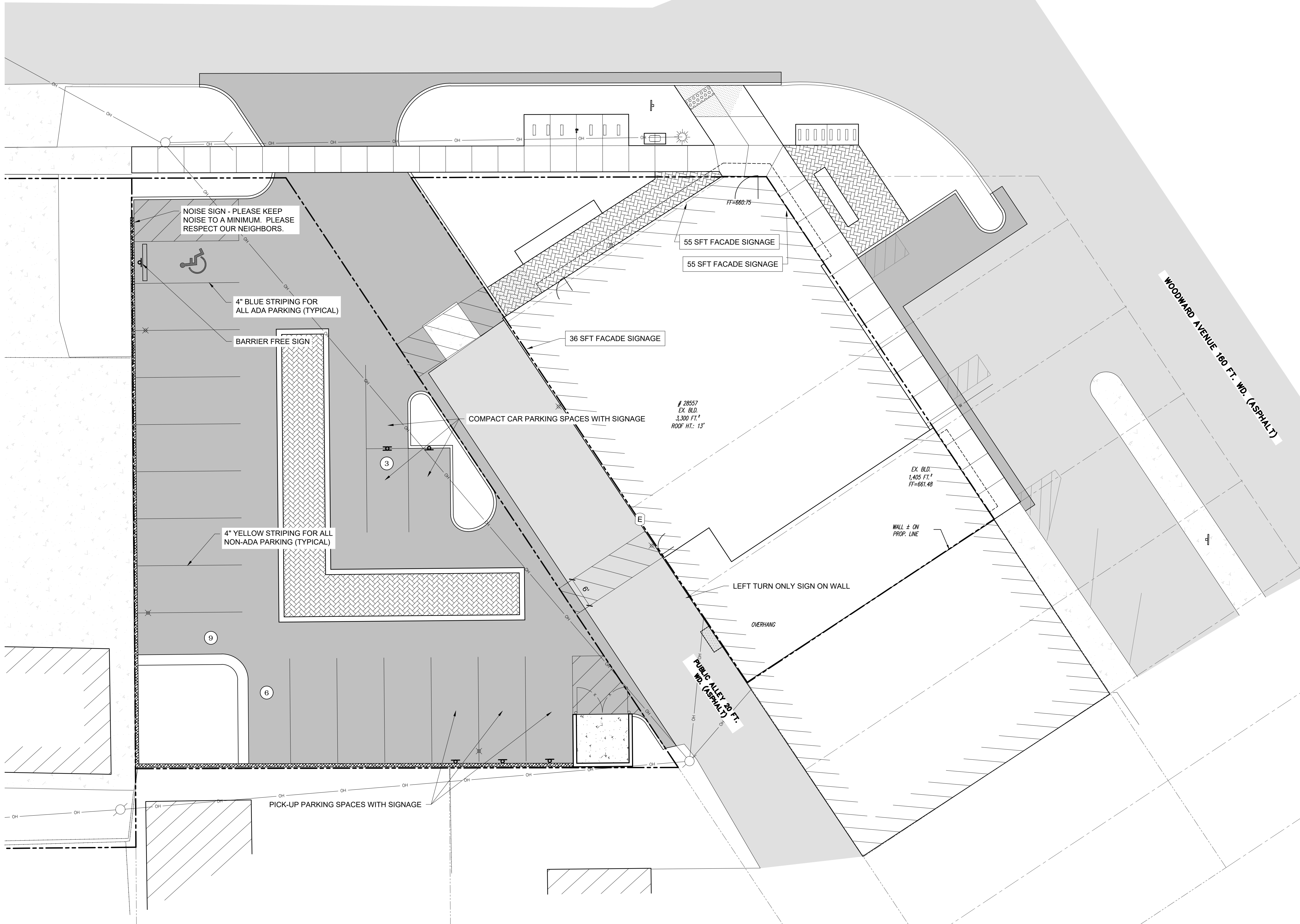
ADDITIONAL ON-STREET PARKING AVAILABLE

WILTSHIRE ROAD 60 FT. WD. (ASPHALT)



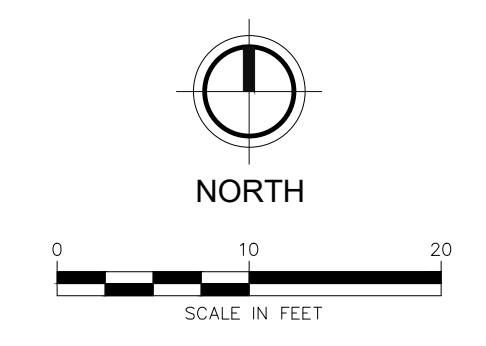
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WILTSHIRE ROAD 60 FT. WD. (ASPHALT)



PROPOSED LEGEND

□ SIGN	▨ SIDEWALK RAMP	— CONCRETE WHEEL STOP
● BOLLARD	▨ CONCRETE SIDEWALK	▨ CONCRETE PAVEMENT
	▨ BITUMINOUS PAVEMENT	▨ PERMEABLE PAVERS
	▨ LANDSCAPE CURB	



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REVISION:
Planning Commission Sub. 07132022 JLO

SEVEN POINT BERKLEY
28531-28557 WOODWARD AVE, BERKLEY, MI 48072
SIGNAGE AND WAYFINDING PLAN

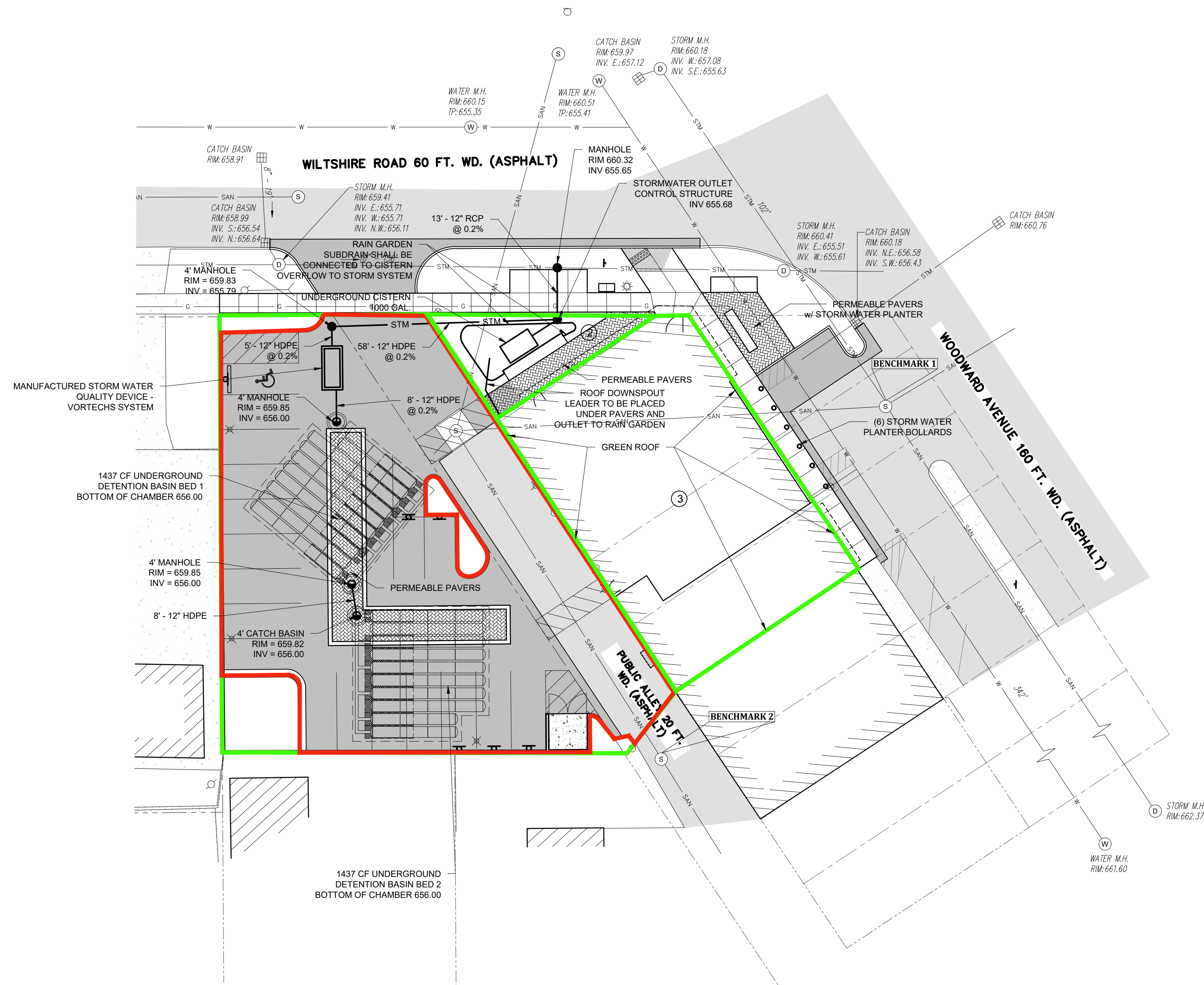
DESIGN TEAM: PROJ MGR: BTS
DESIGNED BY: RCL
DRAWN BY: RCL
CHECK BY:

DRAWING INFORMATION:
855100-C103-SIGN
071322 joel.oconnell

NOT FOR CONSTRUCTION

APRIL 2022
F&V PROJECT NO.
855100

C103



AREAS

1	PARKING AREA	-	0.23 ACRES
	IMPERVIOUS	-	0.20 ACRES
	PERVIOUS	-	0.03 ACRES
2	BIOSWALE & PERMEABLE PAVERS	-	0.02 ACRES
3	GREEN ROOF	-	0.11 ACRES

Land Use Summary

Characteristic	Existing Conditions	Proposed Conditions
Total Development Area (ac)	0.36	0.36
Impervious Area (ac)	0.35	0.31
Total Pervious Area (ac)	0.01	0.05
Pervious Area Breakdown by Cover Type		
Meadows/fallow/natural areas (non-cultivated)	0 acres	0 acres
Predominate NRCS Soil Type (A, B, C, of D)	Type C	Type C
Improved area (turf grass, landscape, row crops)		0.05
Predominate NRCS Soil Type (A, B, C, of D)	Type C	Type C
Wooded Area	0 acres	0 acres
Predominate NRCS Soil Type (A, B, C, of D)	Type C	Type C
Proposed Pond Area (acres)		0
Required CVPC Volume (cubic feet)		1426
Provided CVPC Volume (cubic feet)		1500
Required ED Volume (cubic feet)		2084
Provided ED Volume (cubic feet)		2084
Provided 100 yr Volume (cubic feet)		2874

Runoff Coefficient Determination

A	A acres	C factor
Total Area	0.36	
Impervious Area	0.20	0.95
Green Roof Area	0.11	0.95 *
Pervious Area	0.05	0.25
C factor =	(A _i *C _i)/A	0.84

100-year Peak Intensity

$I_{100} = 83.3 / ((9.17 + T)^{0.81})$ T time of concentration = **10 min**
 $I_{100} = 7.62$ in/hr

Channel Protection Volume Control

$CPVC = A * C * 4719$ cu ft = **1426** cu ft

Channel Protection Rate Control

$CPRC = A * C * 6897$ cu ft = **2084** cu ft

100-year Detention Volume

100-yr Allowable Release Rate Q_{allow}
 $Q_{allow} = 1.1055 - 0.206 \ln(A)$ cfs/acre
 $= 1.32$ cfs/acre
 $= 1$ max allowable per site size

100-yr Peak Allowable Discharge Q_c
 $Q_c = Q_{allow} * A$ cfs
 $= 0.36$ cfs

100-yr Peak Pond Inflow Q_i
 $Q_i = C * I_{100} * A$ cfs
 $= 2.30$ cfs

100-yr Runoff Volume V_i
 $V_i = 18985 * C * A$ cu ft
 $= 5736$ cu ft

Storage Ratio V_r/V_s
 $V_r/V_s = 0.206 - 0.15 \ln(Q_i/Q_c)$
 $= 0.485$

100-yr Required Storage Volume V_s
 $V_s = V_i * \text{Storage Ratio}$ cu ft
 $= 2783$ cu ft

Orifice Calculations for CPRC

Average Discharge Rate Q_{ave}
 $Q_{ave} = \text{CPRC Volume} / 172800 = 0.012$ cfs

Average Head h_{ave}

$h_{top} = \text{maximum depth from CPRC storage} = 1.31$ ft
 $h_{ave} = h_{top} / 2 = 0.655$ ft

Extended Detention Orifice Area (a)

$a = Q_{ave} / (0.62 * (2 * g * h_{ave})^{0.5})$ orifice area in square feet
 $= 0.003$ sq ft

Extended Detention Orifice Diameter (d)

$d = 12 * (4 * (a / \pi))^{0.5}$
 $= 0.74$ inches

Orifice Calculations for Flood Control

Max allowable outlet:
 $Q_c = 0.36$ cfs

Q from lower orifice at maximum depth:
 $h = 657.83 - 655.69 = 2.14$ '
 $Q = (0.62 * a * (2 * g * h_{ave})^{0.5})$
 $= 0.022$ cfs

$Q_{oval} = 0.36 - 0.022 = 0.336$

Orifice at 657.00' overflow at 657.83'
 $h = 0.83$ '

$a = Q_{ave} / (0.62 * (2 * g * h)^{0.5})$
 $= 0.074$ sq ft

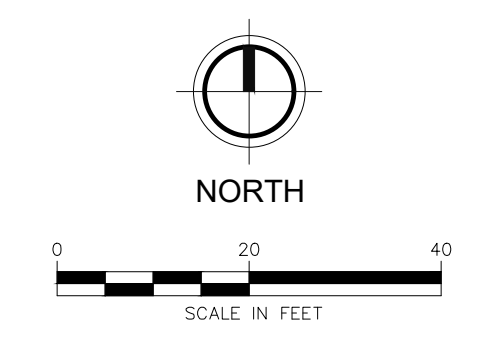
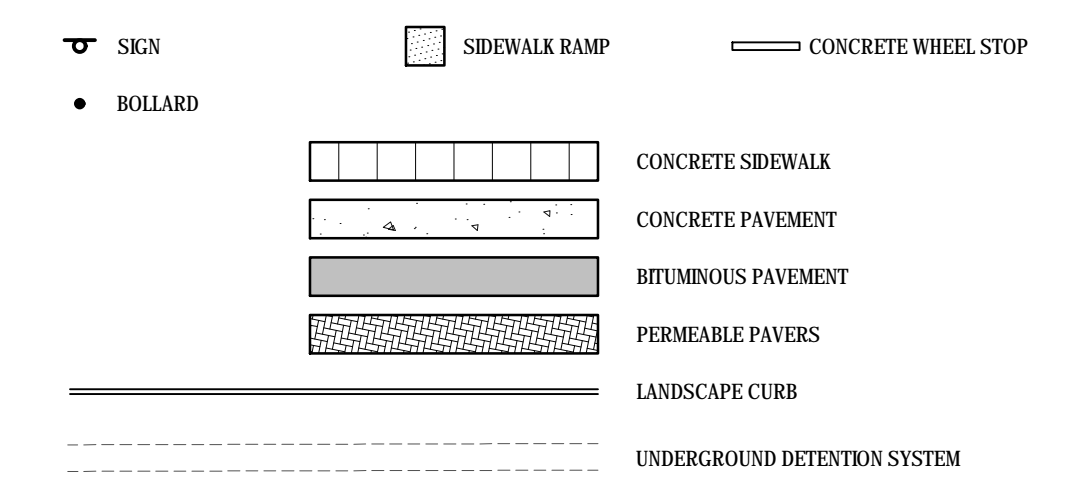
Flood Control Orifice Diameter (d)

$d = 12 * (4 * (a / \pi))^{0.5}$
 $= 3.69$ inches

NOTES:

- STORMWATER MANAGEMENT SHALL CONFORM WITH THE LATEST REQUIREMENTS OF CITY OF BERKLEY AND OAKLAND COUNTY WATER RESOURCE COMMISSION.
- CHANNEL PROTECTION VOLUME CONTROL (CPVC) IS PROVIDED IN THE BIOSWALE AND IN STONE STORAGE BELOW THE UNDERGROUND DETENTION AND IN THE CISTERN.
- CHANNEL PROTECTION RATE CONTROL (CPRC) WILL BE DETAINED IN UNDERGROUND DETENTION SYSTEM AND OUTLET OVER A 48 HOUR PERIOD.
- DOWNSPOTS ARE NOT PERMITTED TO DISCHARGE DIRECTLY INTO COMBINED SEWER SYSTEM AND MUST BE DIRECTED ONTO GRASS, LANDSCAPE OR OTHER GREEN SPACE.
- OPERATION AND MAINTENANCE PLAN FOR ALL PRIVATE STORMWATER FEATURES WILL BE PROVIDED AS PART OF FINAL APPROVAL. PERPETUAL MAINTENANCE AGREEMENT WITH THE CITY FOR PRIVATE STORMWATER SHALL BE RECORDED PRIOR TO COMMENCEMENT OF CONSTRUCTION.

PROPOSED LEGEND



2960 Lucerne Drive SE
Grand Rapids, MI 49546
P: 616.977.1000
F: 616.977.1005

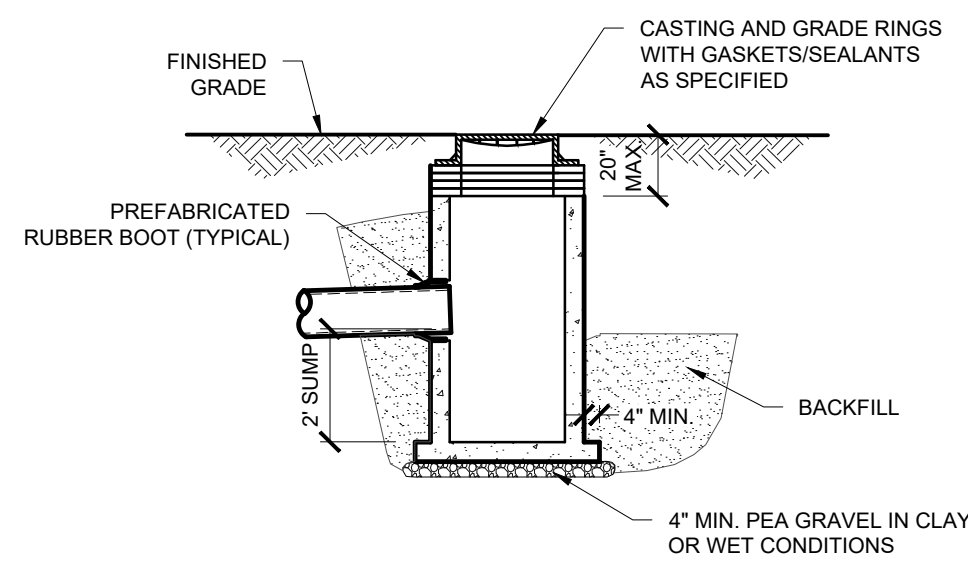
REVISION:
 Revis per comments 8/8/2022 MFC
 Planning Commission Sub. 8/10/2022 JLO

SEVEN POINT BERKLEY
 28531-28557 WOODWARD AVE, BERKLEY, MI 48072
 STORM WATER MANAGEMENT PLAN

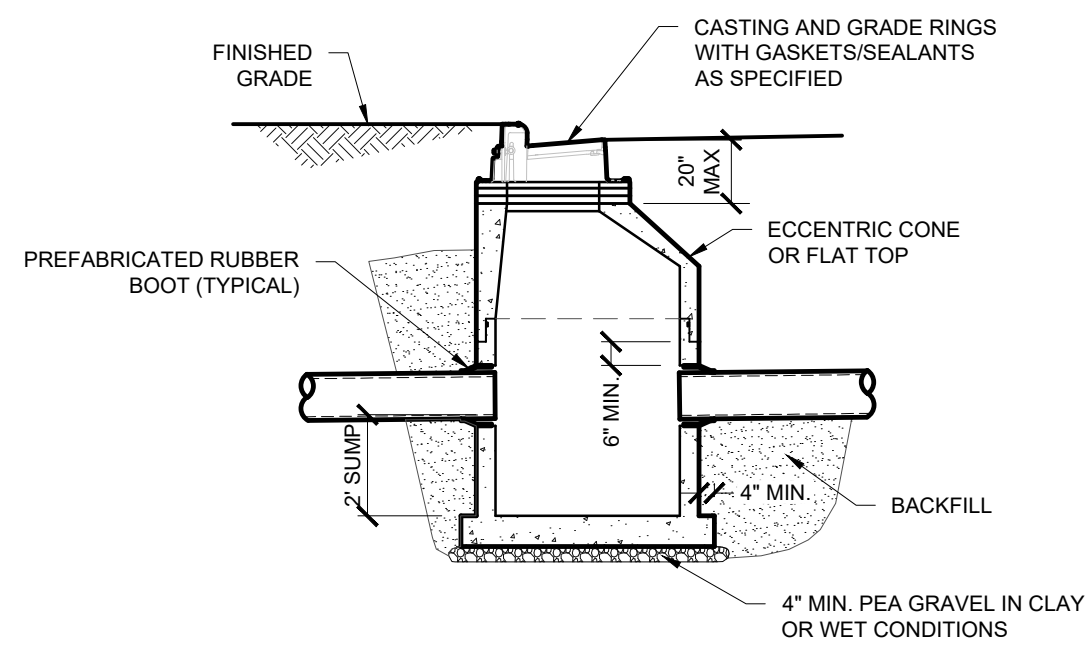
DESIGN TEAM: []
 PROJ MGR: BTS
 DESIGNED BY: RCL
 DRAWN BY: RCL
 CHECK BY: []
 DRAWING INFORMATION:
 855100-C105-SWMP
 081022 michaelc

NOT FOR CONSTRUCTION
 APRIL 2022
 F&V PROJECT NO. 855100

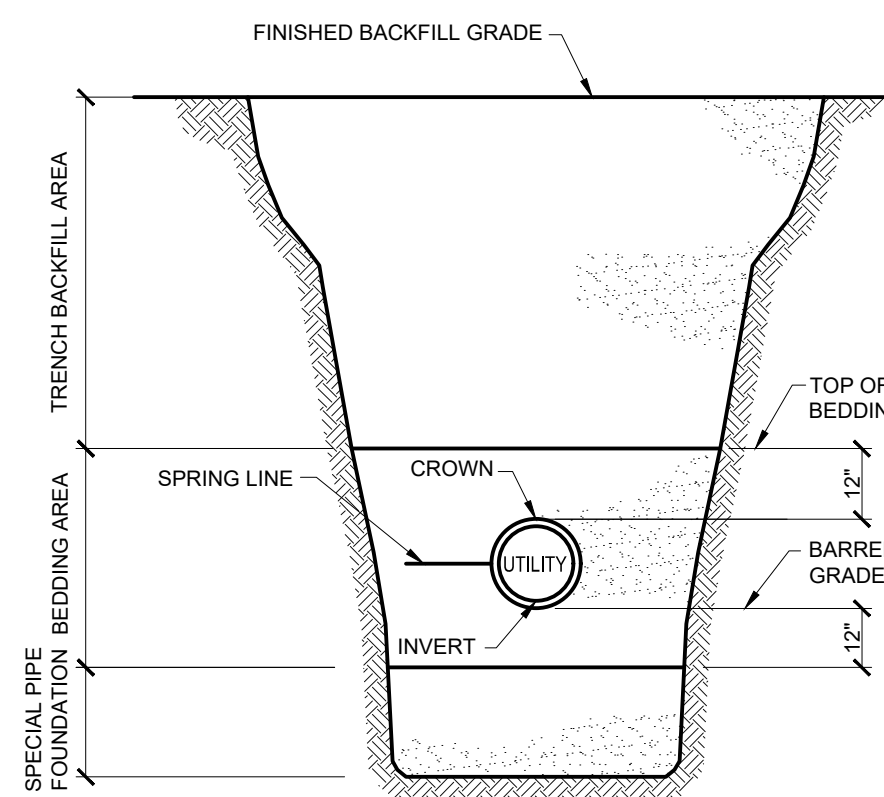
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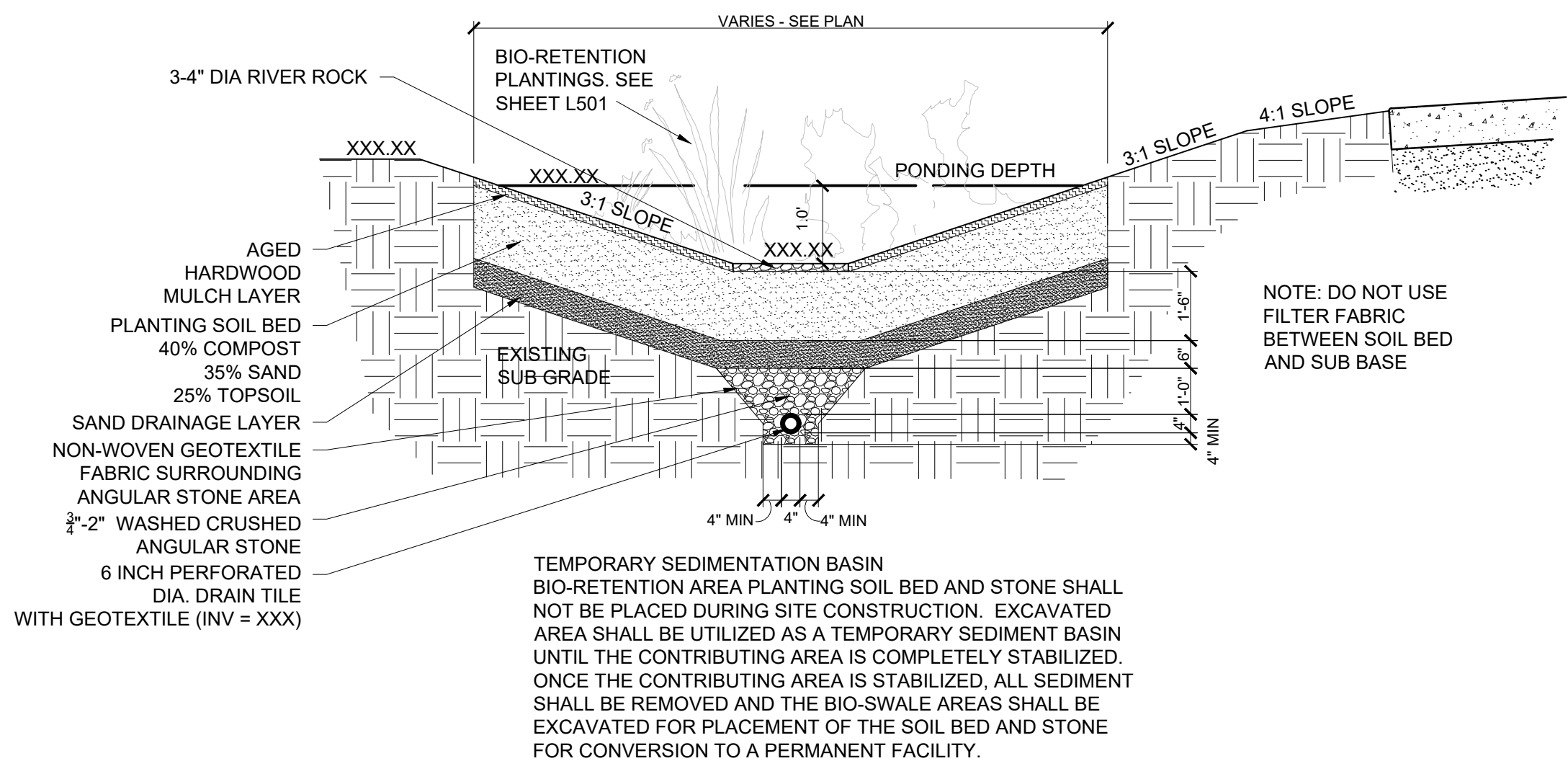
2' DIA. CATCH BASIN



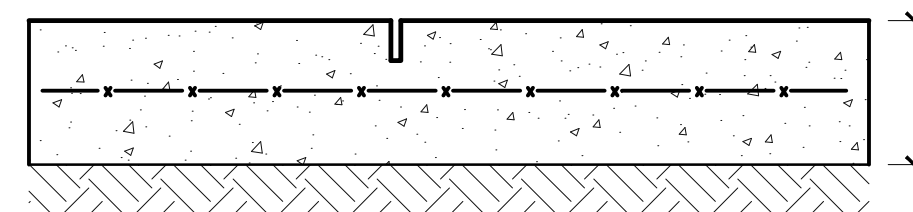
4' DIA. CATCH BASIN



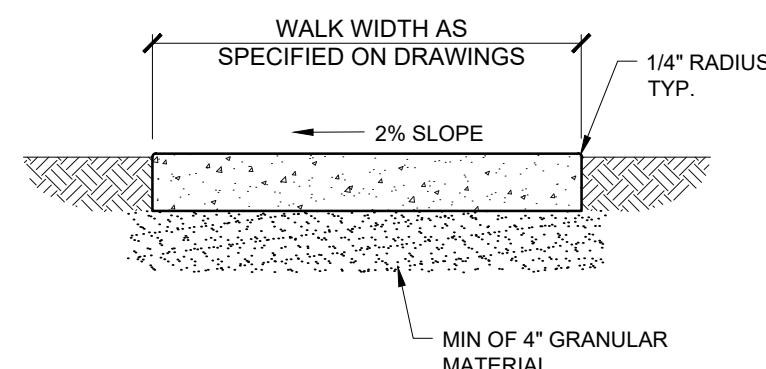
UTILITY TRENCH
NOT TO SCALE



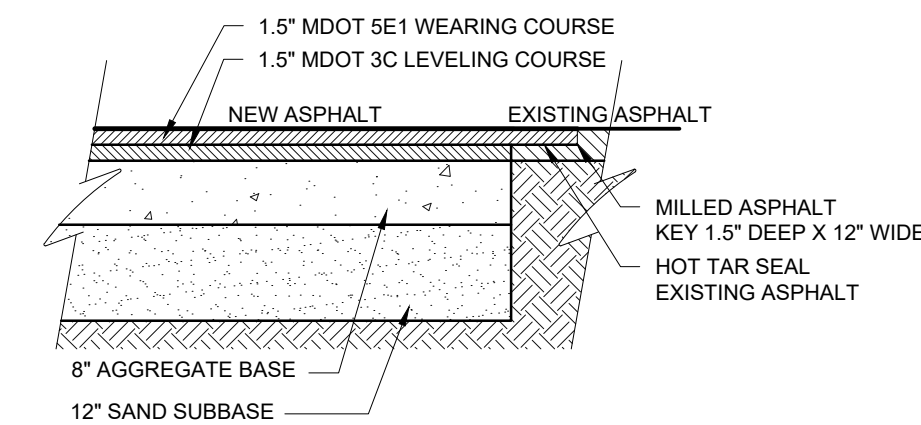
RAINGARDEN - TYPICAL CROSS SECTION
NOT TO SCALE



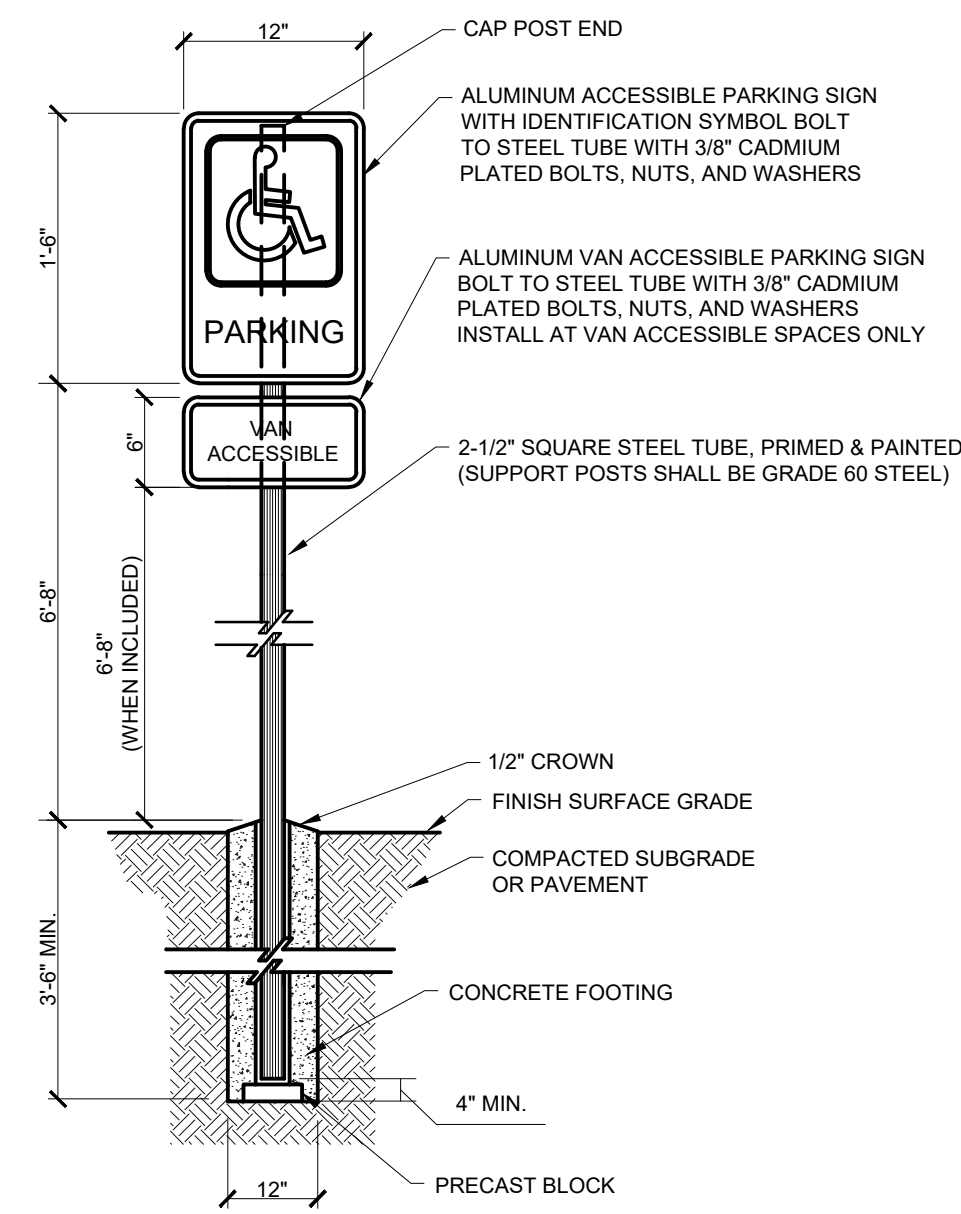
CONCRETE PAVEMENT SECTION
NOT TO SCALE



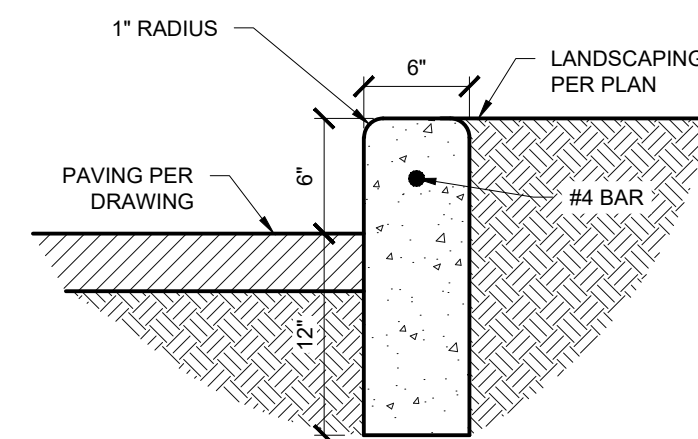
4" CONCRETE SIDEWALK



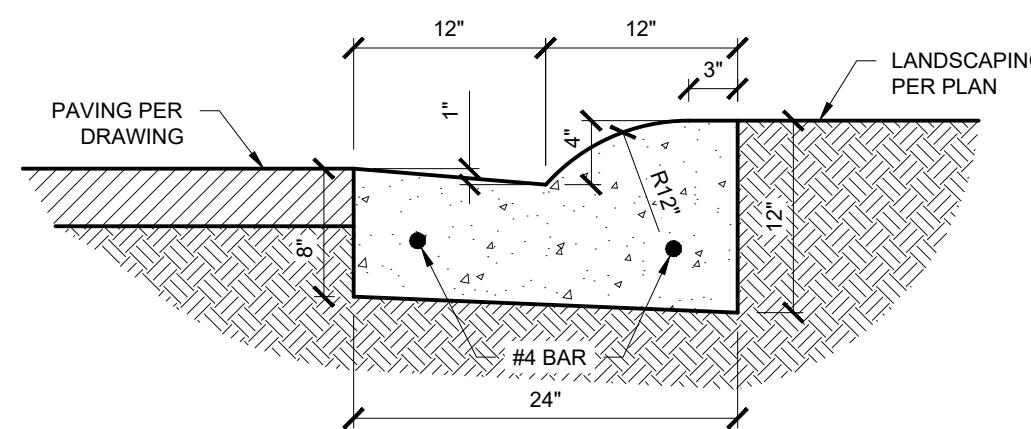
HMA PAVEMENT SECTION
NOT TO SCALE



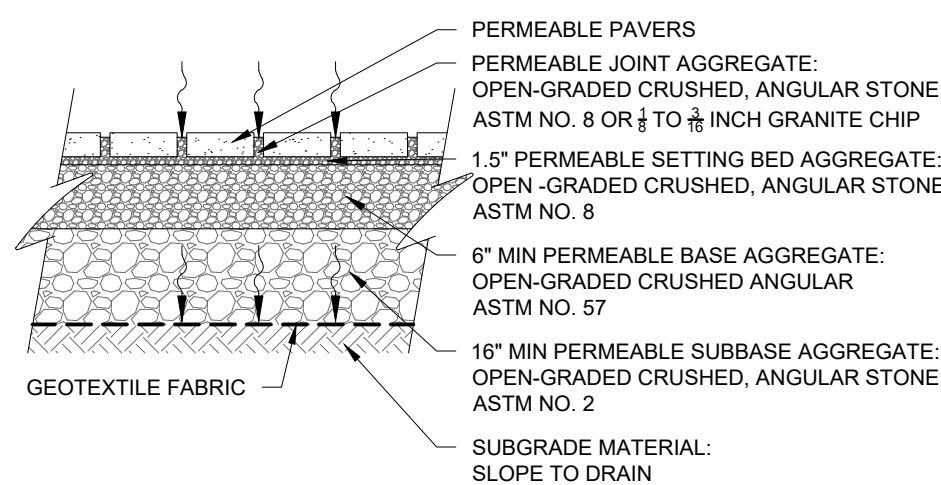
BARRIER FREE PARKING SIGN DETAIL
NOT TO SCALE



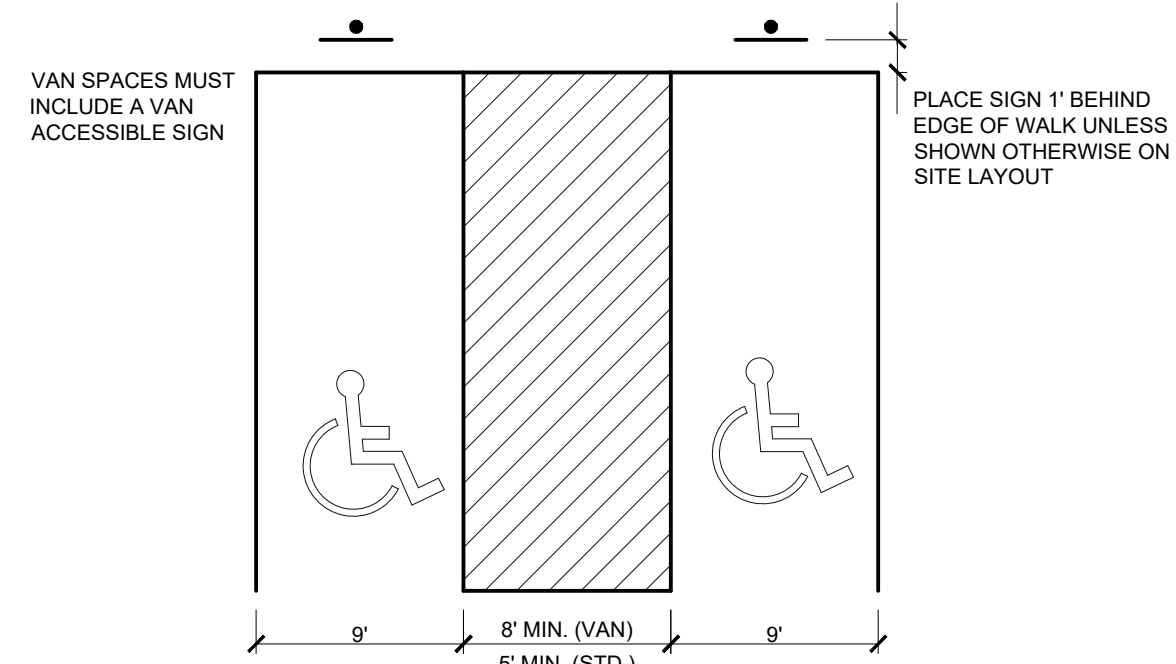
LANDSCAPE CURB DETAIL
NOT TO SCALE



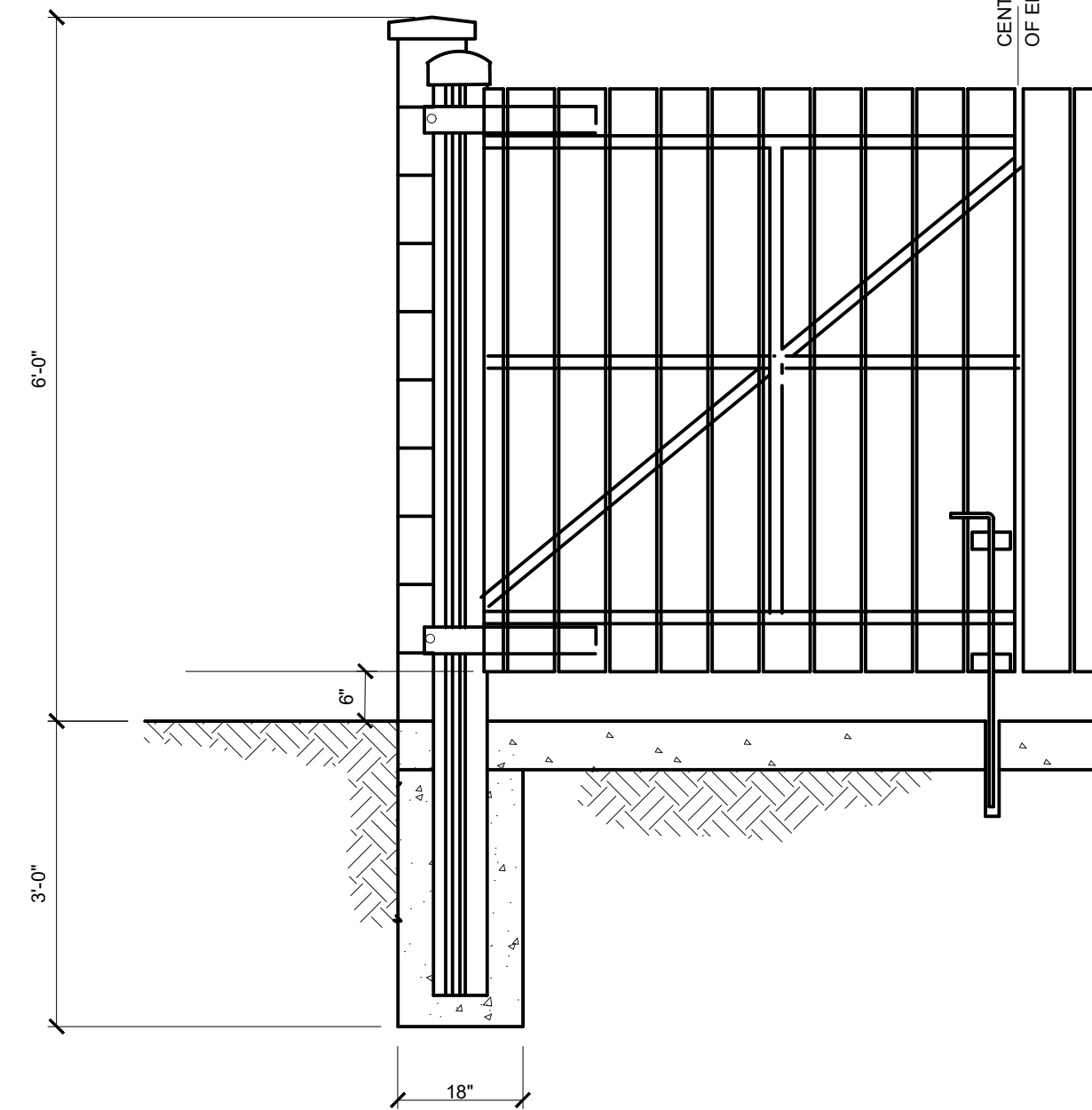
MOUNTABLE CURB DETAIL
NOT TO SCALE



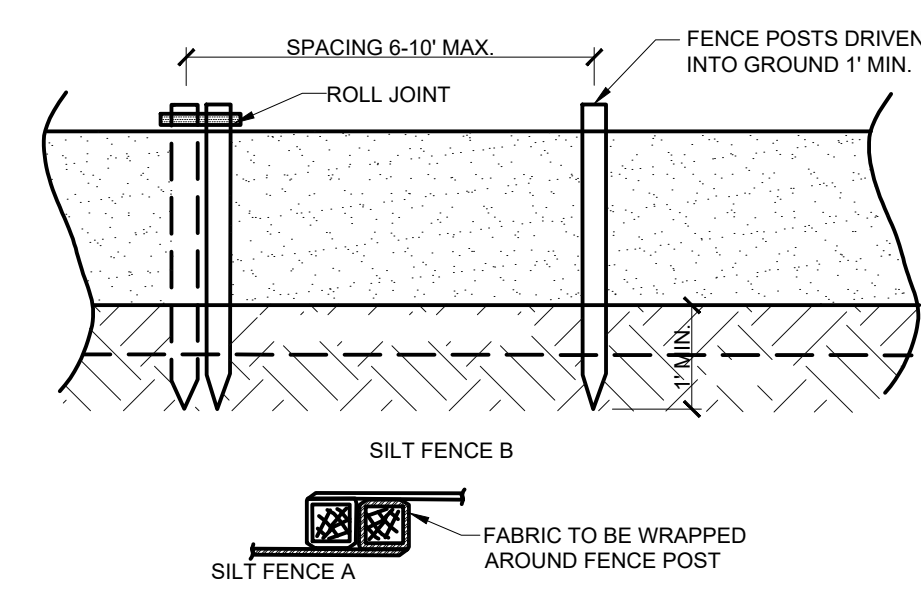
PERVIOUS PAVERS CROSS SECTION
NOT TO SCALE



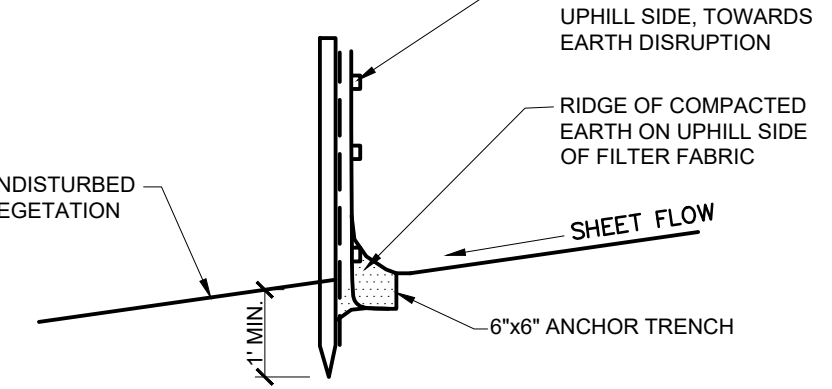
BARRIER FREE PARKING
NOT TO SCALE



WOOD GATE FOR TRASH ENCLOSURE
NOT TO SCALE



ROLL JOINTS



SILT FENCE

UTILITY TRENCH BACKFILL MATERIALS:

TRENCH AREA: from 12" above crown of pipe to bottom of pavement section or to bottom of topsoil layer.
 BEDDING AREA: from 12" above crown of pipe to 12" below invert of pipe.
 SPECIAL FOUNDATION AREA: from 12" below invert of pipe to satisfactory foundation soils.
 TRENCH BACKFILL AREA: MDT 902.07; granular material class II.
 BEDDING AREA BACKFILL: MDT 902.07; granular material class II limited to 1 inch maximum size.
 SPECIAL FOUNDATION AREA BACKFILL: MDT 902.07; granular material class II limited to 1 inch maximum size.
 CORRUGATED HDPE HAUNCH AND BACKFILL: haunch backfill initial backfill in accordance with pipe manufacturer's specifications.

UTILITY TRENCH EXCAVATION AND BACKFILL METHODS:

Surplus material shall become property of contractor for disposal.
 SPECIAL FOUNDATION AREA BACKFILL: notify engineer when soil under bedding area is muck, silt, organic content soil, or highly saturated plastic soil to determine required depth of special foundation area. Compact to 95% of maximum density per ASTM D1557 (modified proctor) in layers not exceeding 6 inches.
 BEDDING AREA AND TRENCH AREA BACKFILL: compact to 95% of maximum density per ASTM D557 (modified proctor) in layers not exceeding 6 inches.
 CORRUGATED HDPE HAUNCH AND BACKFILL: Place and compact haunch backfill area and initial backfill area in accordance with pipe manufacturer's specifications.

PAVEMENT MATERIALS:

SUBGRADE UNDERCUTTING BACKFILL: MDT 902.07; granular material class II, or suitable on site granular material approved by engineer.
 SUBBASE: MDT 902.07; granular material class II, or suitable on site granular material approved by engineer.
 BASE COURSE: MDT 902.05, 21AA aggregate.
 BOND COAT: MDT 904.03, SS-1H or CSS-1H.
 BITUMINOUS BASE COURSE: MDT bituminous mixture 3C, performance grade 58-28 asphalt cement.
 BITUMINOUS SURFACE COURSE: MDT bituminous mixture 5E1, performance grade 58-28 asphalt cement.
 CONCRETE: MDT 601, grade P1.
 WELDED WIRE FABRIC: MDT 905.06.
 CONCRETE JOINT FILLER: MDT 914.03.
 CONCRETE JOINT SEALANT: MDT 914.04.

PAVEMENT CONSTRUCTION METHODS:

SITE PREPARATION AND EARTHWORK: MDT 205.03.A., 205.03E (subgrade undercutting type II), and 205.03.F.-205.03.H.
 BASE COURSE: MDT 302.03.
 BOND COAT: MDT 501.03.D.
 BITUMINOUS LEVELING AND TOP COURSES: MDT 501.03.A., 501.03.C., 501.03.E-501.03.K. Vibratory rollers prohibited.
 CONCRETE PAVEMENT: MDT 602.
 CONCRETE CURB AND GUTTER: MDT 802.03. Place expansion joints at spring line of pavement, at junction with existing curb, at junction with adjacent concrete pavement, and every 100 feet. Place plane of weakness joint every 10 feet.

STORM STRUCTURE MATERIALS:

TRENCH AREA: from bottom of structure to bottom of pavement section or to bottom of topsoil layer.
 BEDDING AREA: from bottom of structure to 12" below bottom of structure.
 SPECIAL FOUNDATION AREA: from 12" below bottom of structure to satisfactory foundation soils.
 TRENCH AREA BACKFILL: MDT 902.07 class II for catch basins & manholes. MDT 902.06, 34R for leaching basins.
 BEDDING AREA BACKFILL: MDT 902.07 class II for catch basins & manholes. MDT 902.06, 34R for leaching basins.
 SPECIAL FOUNDATION AREA BACKFILL: MDT 902.07 class II.
 DRAINAGE MATERIAL: MDT 902.06, 34R. MDT 902.03, 6A FOR LEACHING BASINS.
 CONCRETE: MDT 7.01, S3.
 MORTAR: ASTM C270, TYPE S.
 BASE SLAB: ASTM C478.
 PRECAST REINFORCED CONCRETE WALL SECTION: ASTM C478; rubber o-ring per ASTM C443.
 CATCH BASIN FLAT TOP: ASTM C478.
 GRADE RINGS: ASTM C478.
 MANHOLE STEPS: EJIW 8500 or equal.
 GRATE AND CASTING:

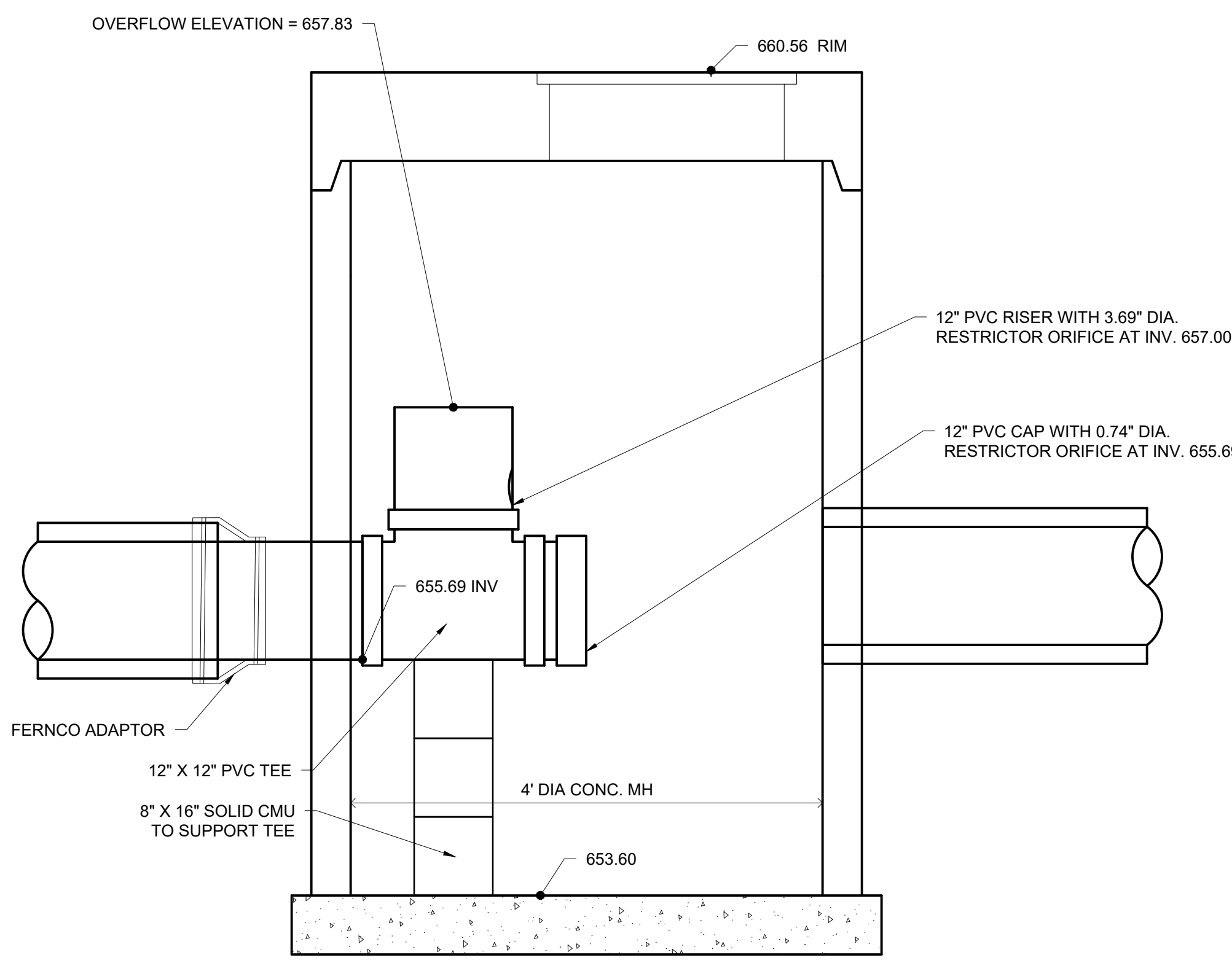
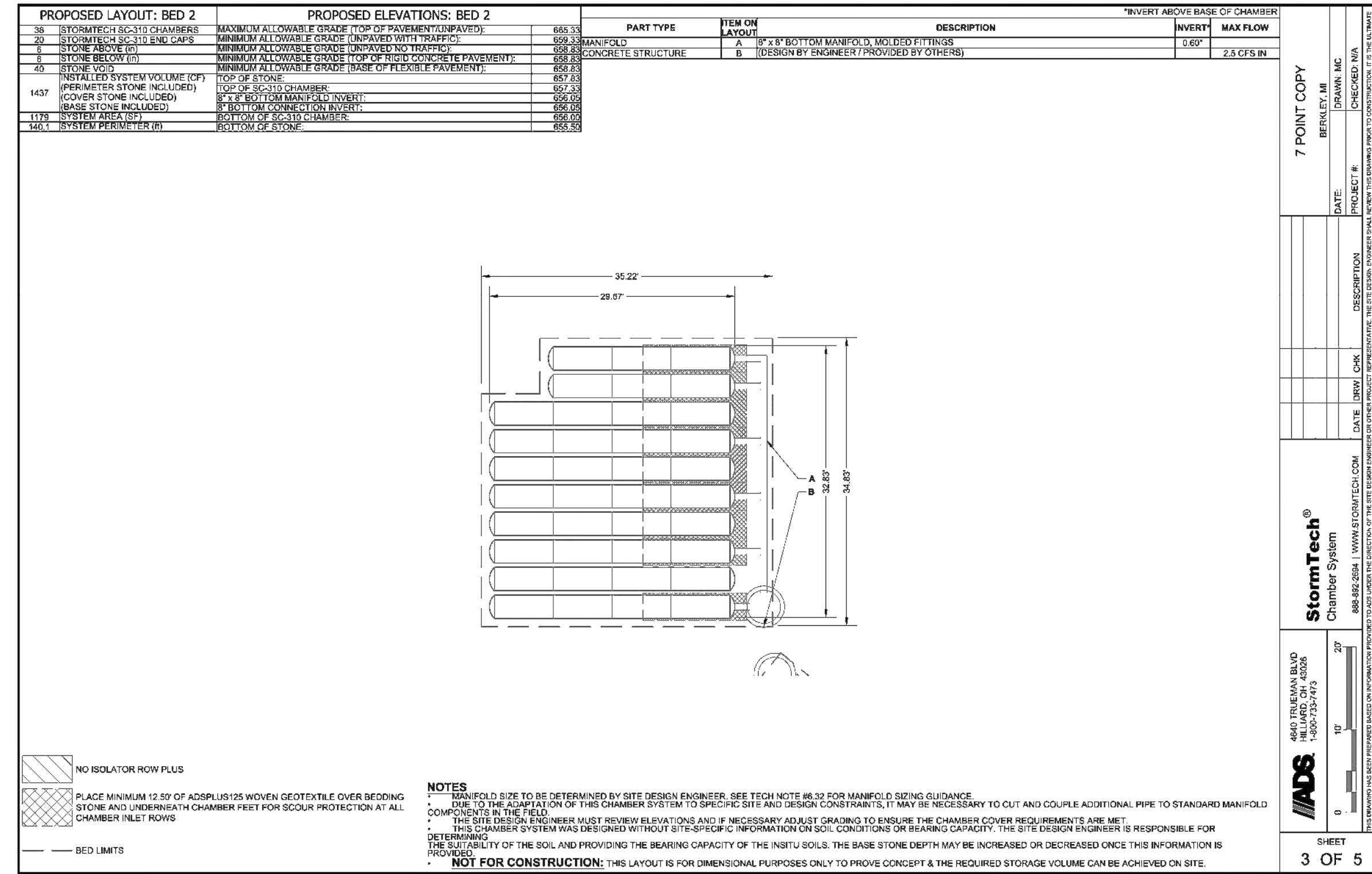
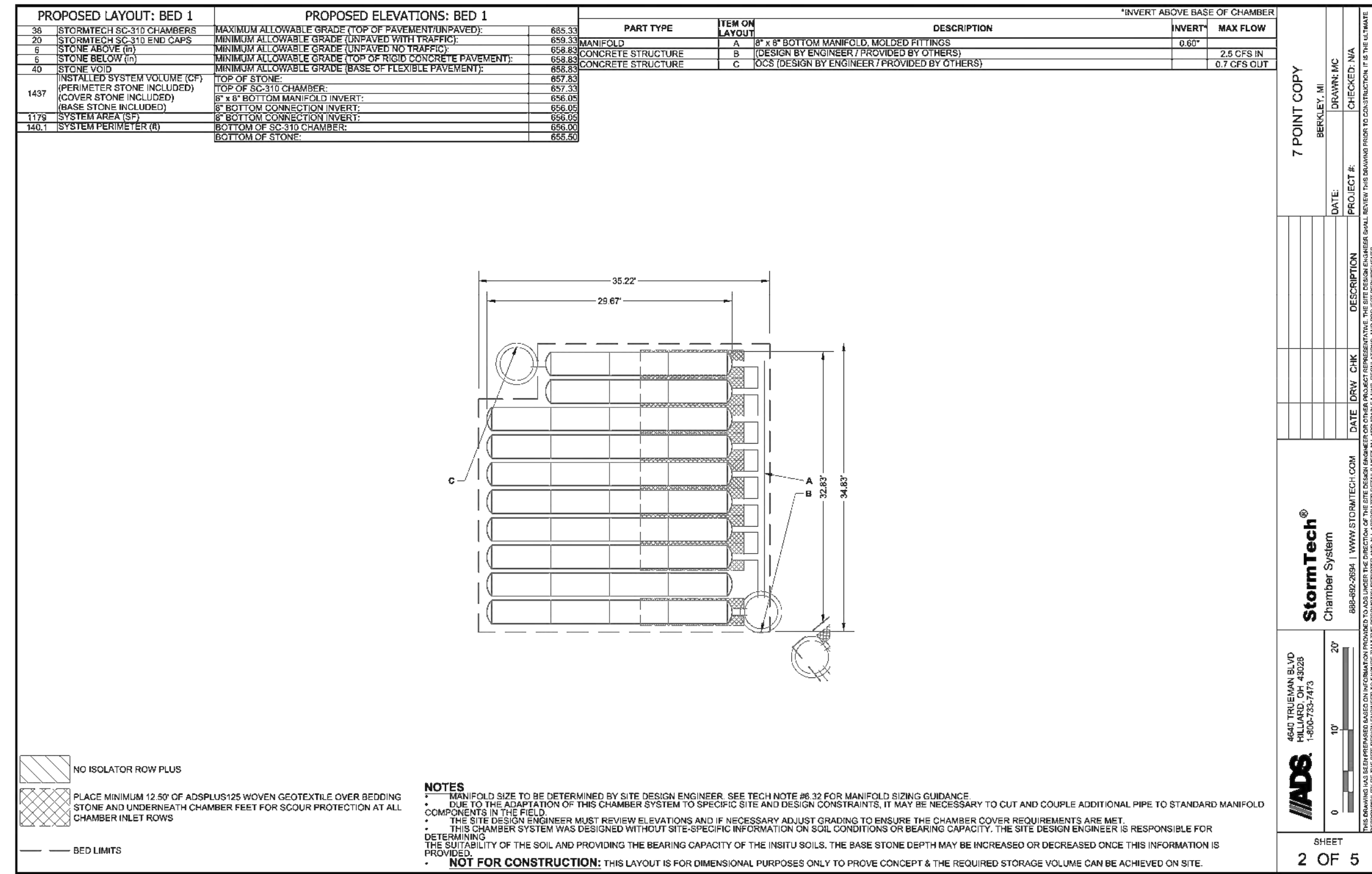
- CURB AND GUTTER SECTION:
 - STANDARD: EJIW 7045, TYPE M1 GRATE, TYPE T1 BACK, OR EQUAL.
 - WIDE: EJIW 7030, TYPE M2 GRATE, TYPE T1 BACK, OR EQUAL.
 - DOUBLE: EJIW 7031, TYPE M2 GRATE, TYPE T1 BACK, OR EQUAL.
 - GUTTER PAN: EJIW 5105, TYPE M1 GRATE, OR EQUAL.
- VALLEY GUTTER SECTION:
 - STANDARD: EJIW 7065, TYPE M1 GRATE, TYPE T1 BACK, OR EQUAL.
 - WIDE: EJIW 7030, TYPE M2 GRATE, TYPE T3 BACK, OR EQUAL.
 - DOUBLE: EJIW 7031, TYPE M2 GRATE, TYPE T3 BACK, OR EQUAL.
- IN PAVEMENT SECTION:
 - STANDARD: EJIW 1040, TYPE M1 GRATE, OR EQUAL.
 - STANDARD: EJIW 5105, TYPE M1 GRATE, OR EQUAL.
- DITCH SECTION:
 - STANDARD: EJIW 1040, TYPE O2 BEEHIVE GRATE, OR EQUAL.
 - LARGE: EJIW 6488, OR EQUAL.
- STORM MANHOLE:
 - STANDARD: EJIW 1040, TYPE "B" COVER, OR EQUAL, IMPRINTED WITH LETTERING "STORM SEWER".

PIPE CONNECTION SEALS: all pipe connection openings shall be precast with resilient rubber water tight pipe to manhole sleeves or seals with s.s. straps, per ASTM C923.
 NOTE: suitable on site granular material may be substituted for MDT class II if approved by engineer.

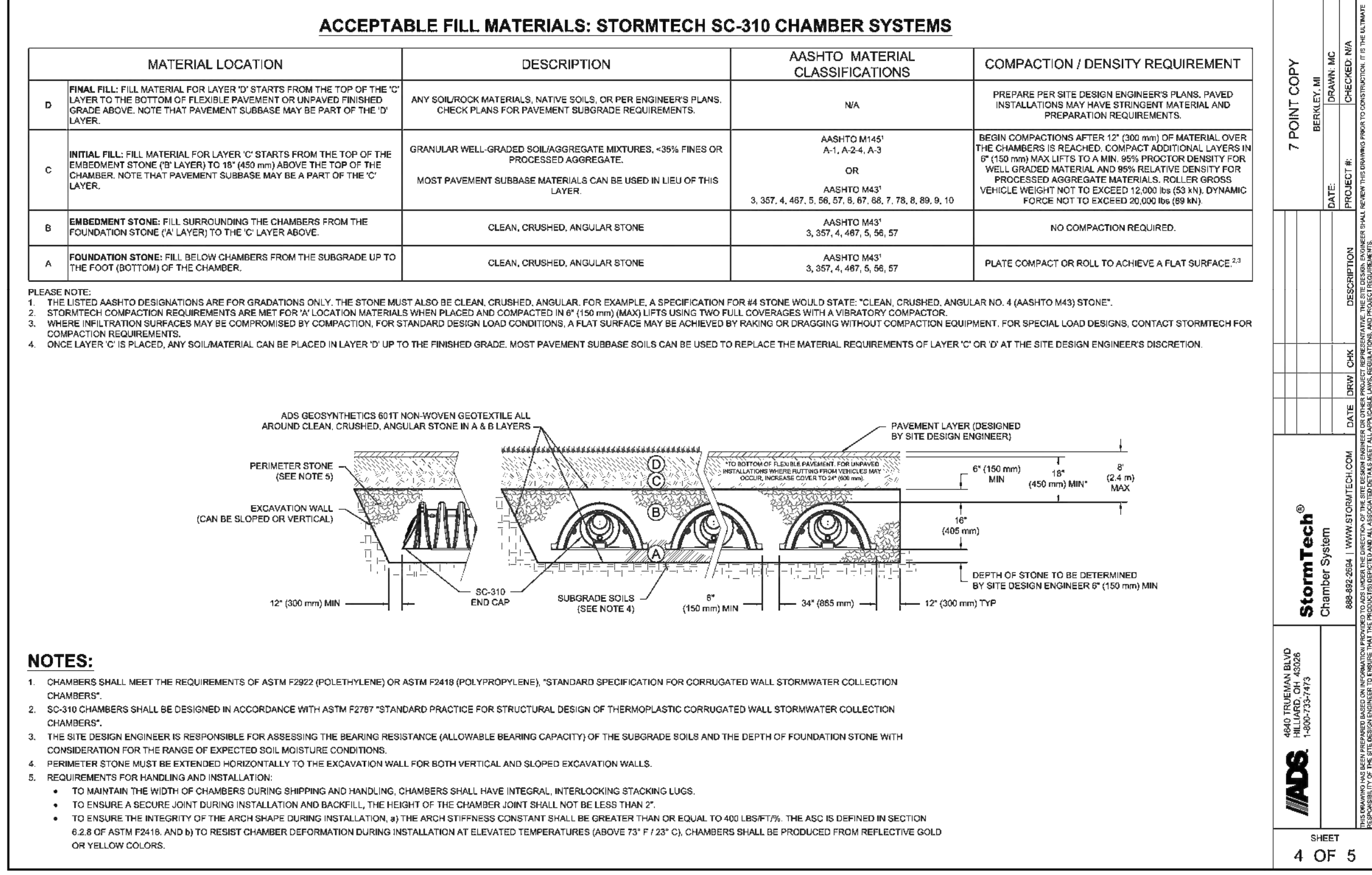
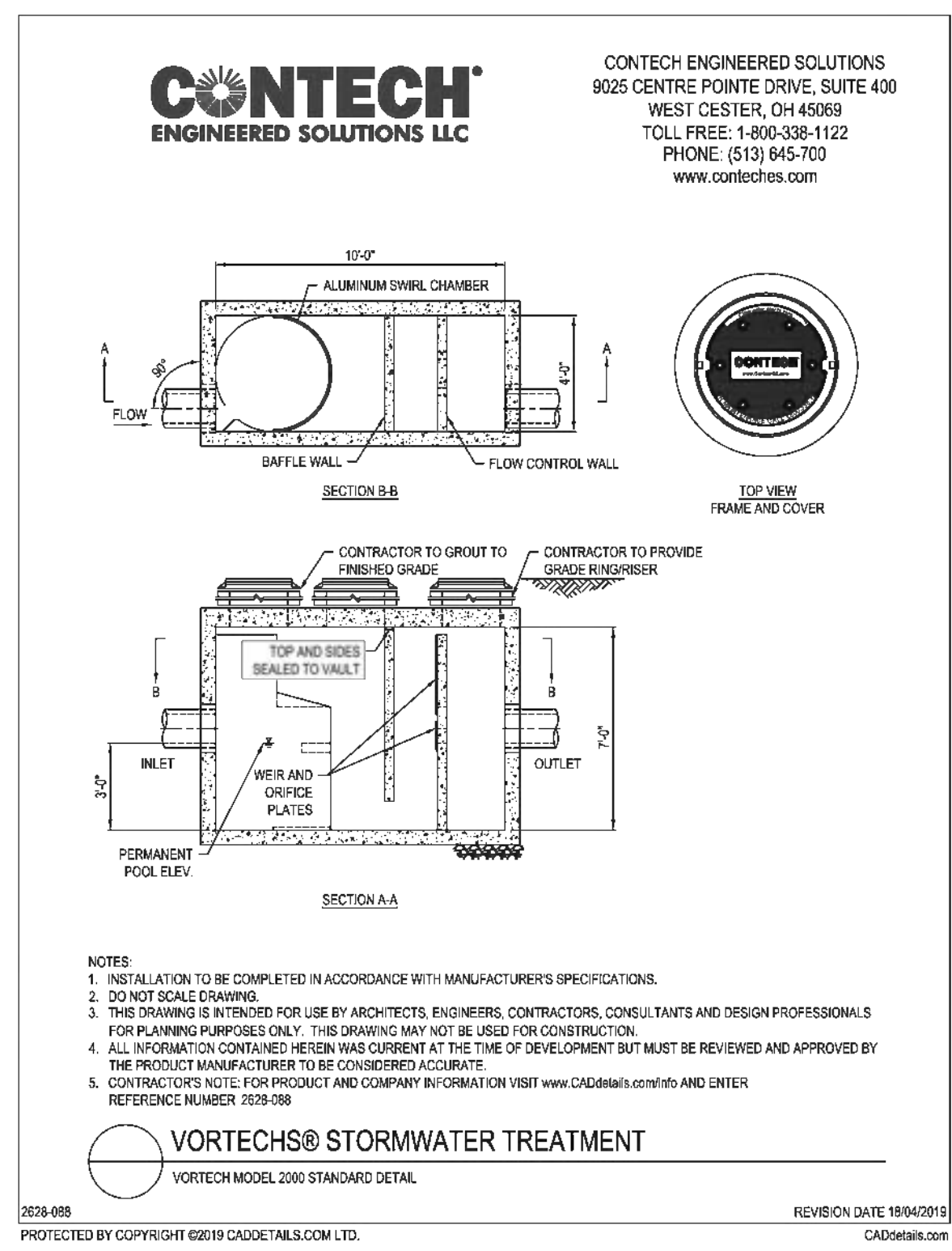
STORM STRUCTURE CONSTRUCTION METHODS:

TRENCH AREA BACKFILL: do not backfill until concrete has reached 75% of design strength. Compact to 95% of maximum density per ASTM D1557 (modified proctor) in layers not exceeding 6 inches.
 BEDDING AREA BACKFILL: compact to 95% of maximum density per ASTM D1557 (modified proctor).
 SPECIAL FOUNDATION AREA BACKFILL: notify engineer when soil under bedding area is muck, silt, organic content soil, or highly saturated plastic soil to determine required depth of special foundation area. Compact to 95% of maximum density per ASTM D1557 (modified proctor) in layers not exceeding 6 inches.
 PRECAST CONCRETE WALL SECTION: fill joints completely with mortar and trowel.
 GRADE RINGS: set in full bed of mortar and coat exterior with 1/2 inch of mortar.
 CASTING SETTING: set in full bed of mortar at elevation specified on plans.

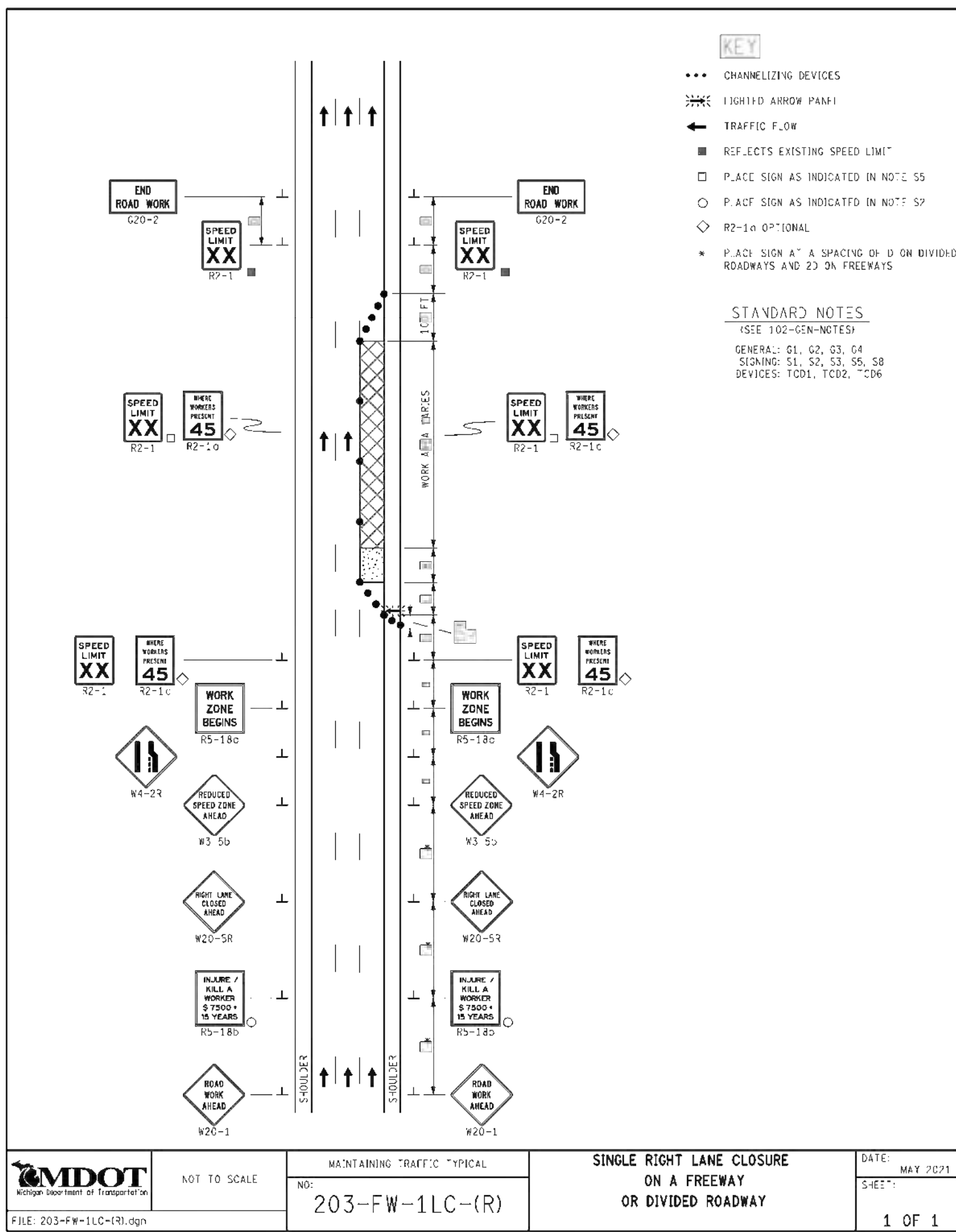
M:\p\855001-857000\855100 Seven Point Berkeley Site Plan 2022\Con\p\855100-C501-DETL.dwg - Plot on 8/10/2022 9:41 AM



RESTRICTOR MANHOLE



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DISTANCE BETWEEN TRAFFIC SIGNS, "D"

DISTANCES (FEET)	25	30	35	40	45	50	55	60	65	70	75
POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)	25	30	35	40	45	50	55	60	65	70	75

GUIDELINES FOR LENGTH OF LONGITUDINAL BUFFER SPACE, "B"

LENGTHS (FEET)	20	25	30	35	40	45	50	55	60	65	70	75
SPEED, MPH (PRIOR TO WORK AREA)	20	25	30	35	40	45	50	55	60	65	70	75

MINIMUM MERGING TAPER LENGTH, "L" (FEET)

(OFFSET) (FEET)	25	30	35	40	45	50	55	60	65	70	75
POSTED SPEED LIMIT, MPH (PRIOR TO WORK AREA)	11	15	21	27	35	45	55	65	75	85	95

MDOT NOT TO SCALE
 NO. 101-GEN-SPACING-CHARTS.dgn
 DATE: MAY 2021
 SHEET: 1 OF 3

THE FORMULAS FOR THE MINIMUM LENGTH OF A MERGING TAPER IN DERIVING THE "L" VALUES SHOWN IN THE ABOVE TABLES ARE AS FOLLOWS:

$L = \frac{W \times S^2}{60}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 40 MPH OR LESS

$L = \frac{W \times S^2}{60}$ WHERE POSTED SPEED PRIOR TO THE WORK AREA IS 45 MPH OR GREATER

MAXIMUM SPACING FOR CHANNELIZING DEVICES

WORK ZONE (SPEED LIMIT)	DRUM AND 42" DEVICE SPACING (FT)	NIGHTTIME 42" DEVICE SPACING (FT)
15 MPH	25 FEET	50 FEET
20 MPH	25 FEET	50 FEET
25 MPH	25 FEET	50 FEET
30 MPH	25 FEET	50 FEET
35 MPH	25 FEET	50 FEET
40 MPH	25 FEET	50 FEET
45 MPH	25 FEET	50 FEET
50 MPH	25 FEET	50 FEET
55 MPH	25 FEET	50 FEET
60 MPH	25 FEET	50 FEET
65 MPH	25 FEET	50 FEET
70 MPH	25 FEET	50 FEET
75 MPH	25 FEET	50 FEET

SIGN OUTLINE KEY

DASHED OUTLINES INDICATE A SIGN THAT EXISTS ON SITE, AND NEEDS TO BE COVERED.

SOLID OUTLINES INDICATE A SIGN THAT IS TO BE PLACED ON THE PROJECT.

MDOT NOT TO SCALE
 NO. 101-GEN-SPACING-CHARTS.dgn
 DATE: MAY 2021
 SHEET: 2 OF 3

GENERAL NOTES:

THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK THE CONTRACTOR SHALL NOTIFY ENGINEER PRIOR TO THE START OF CONSTRUCTION.

THE CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SITE RELATED PERMITS. CONTRACTOR IS REQUIRED TO COMPLETE THE APPLICATION, AND SUBMIT NECESSARY DRAWINGS, FEES, ETC. TO THE APPROPRIATE JURISDICTION. CONTRACTOR SHALL PAY ALL FEES RELATED TO PERMITS AND SECURE PERMITS IN HIS NAME. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.

THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.

A MICHIGAN DEPARTMENT OF TRANSPORTATION (MDOT) RIGHT-OF-WAY PERMIT IS REQUIRED FOR WORK WITHIN WOODWARD ROAD RIGHT-OF-WAY AS WELL AS FOR CONSTRUCTION SIGNAGE.

SEQUENCE OF CONSTRUCTION OPERATION TIME SCHEDULE

CONSTRUCTION SEQUENCE	1	2	3	4	5
INSTALL & MAINTAIN TEMP. CONTROL MEASURES					
CONSTRUCTION SAFETY AND SECURITY					
SITE DEMOLITION					
WORK WITHIN ROW					
STORMWATER SYSTEM					
MODIFY BUILDING SYSTEMS					
CONSTRUCT ROADS AND WALKS					
FINISH GRADING/LANDSCAPE					
CLEAN SITE					
REMOVE TEMPORARY MEASURES					

THE FOLLOWING NOTES APPLY IF CALLED FOR ON THE TRAFFIC TYPICAL

GENERAL NOTES

- SFF GEN-SPACING-CHARTS FOR COMMON VALUES INCLUDING:
 - D - DISTANCE BETWEEN TRAFFIC CONTROL DEVICES
 - L - MINIMUM LENGTH OF TAPER
 - B - LENGTH OF LONGITUDINAL BUFFER ROLL-AHEAD DISTANCE
- DISTANCE BETWEEN SIGNS, "D", THE VALUES FOR WHICH ARE SHOWN IN TYPICAL SCHEDULE ARE APPROXIMATE AND MAY NEED ADJUSTING AS DIRECTED BY THE ENGINEER.
- ALL TEMPORARY SIGNS, TYPE III BARRICADES, TRAFFIC SUPPORT SYSTEMS AND LIGHTING MUST MEET NATIONAL COOPERATIVE HIGHWAY RESEARCH PROGRAM (NCHRP) 290 (REVISED 2001) (SECTION 1.2) OR MANUAL FOR ADVANCED SAFETY HARDWARE (MASH) (L-3 AS WELL AS THE CURRENT EDITION OF THE MICHIGAN MANUAL ON TRAFFIC CONTROL DEVICES. THE CURRENT EDITION OF THE STANDARD SPECIFICATIONS FOR CONSTRUCTION, THE STANDARD PLANS AND APPLICABLE SPECIAL PROVISIONS. ONLY SIGNS AND MATERIALS APPROVED BY MDOT WILL BE ALLOWED.
- DO NOT STORE EQUIPMENT, MATERIALS OR PERFORM WORK IN ESTABLISHED BUFFER AREAS.
- ALL EXISTING PAVEMENT MARKINGS WHICH ARE IN CONFLICT WITH A PROPOSED CHANGES IN TRAFFIC PATTERNS OR PROPOSED TEMPORARY TRAFFIC MARKINGS SHALL BE REMOVED BEFORE ANY CHANGE IS MADE IN THE TRAFFIC PATTERN. EXCEPTION WILL BE MADE FOR TRAFFIC MARKINGS FOR WORK LESS THAN THREE DAYS THAT ARE ADEQUATELY DEMONSTRATED BY OTHER TRAFFIC CONTROL DEVICES.

SIGN NOTES

- ALL NON-APPLICABLE SIGNING WITHIN THE AREA MUST BE MOVED TO THE WORK ZONE SAFETY AND MOBILITY BARRIERS, SECTION 102-09 AND 102-10.
- R2-183 SIGNS ARE ONLY REQUIRED ON FREEWAY PROJECTS WITH A DURATION OF 15 DAYS OR LONGER OR NON-FREEWAY PROJECTS WITH A DURATION OF 90 DAYS OR LONGER TO APPLY THIS TYPICAL. WITHOUT R2-183 SIGNS, REMOVE THE SIGNS AND CONSIDER THE SIGNAGE AS APPROPRIATE.
- R2-183 IS ONLY REQUIRED IN THE INITIAL SIGNING SEQUENCE BY THE WORK ZONE. ONCE THIS SIGN IS SUBSTITUTED, SIGNING IN THE SAME WORK ZONE.
- NON-TYPICAL SIGNING AND/OR UNUSUAL SIGNING SCENARIOS SHOULD BE USED WHEN TRAFFIC VOLUMES ARE SIGNIFICANT ENOUGH TO CREATE BACKUPS BEYOND THE W20-5 SIGN.
- PLACE ADDITIONAL SPEED LIMIT SIGNS INDICATING THE WORK ZONE SPEED AT THE PLACE BEHIND CROSSOVERS, RAMP BARRICADES IN WORK ZONE, OR AT THE RAMP INFRASTRUCTURE RAMP AREA. CONSIDER THE PROXY WHEN THE RAMP SPEED IS 15 MPH OR LESS. PLACE ADDITIONAL SPEED LIMIT SIGNS AT INTERCHANGES ALONG THE ROADWAY SUCH THAT NO SPEED LIMIT SIGNS ARE MORE THAN 2 MILES APART. WHEN PROXIMATE SPEED LIMITS ARE UTILIZED IN THE WORK AREA, PLACE ADDITIONAL SPEED LIMIT SIGNS TO INDICATE THE IT'S MINIMUM SPEED TO SHOW THE LIMITS OF THE WORK AREA AS INDICATED IN THE PREVIOUSLY MENTIONED CONTRACT SPEED LIMIT AIR POSTER, SIGN R1-5-50 AND R2-1 SIGNS AND MINIMUM SPACING ACCORDING TO THE CONTRACT.
- FAMILIARIZE SPECIAL SIGNS IN ACCORDANCE WITH CURRENT SIGNING DESIGN STANDARDS.
- PLACE ADDITIONAL R2-1 SIGNS AT A MAXIMUM 500' SPACING THROUGHOUT THE WORK ZONE.
- WHEN SPEED LIMIT SIGNS (CAMO) BY PLACED SIGN BY SIGN AS SHOWN, PLACE THEM AT DISTANCE APART.
- STOP SIGNS NOT REQUIRED IF SIGNS ARE ON 4-WAY FLASHING OR STOP AHEAD SIGNS ARE NOT REQUIRED IF THERE IS ADEQUATE VISIBILITY OF THE STOP SIGN OR IF SIGNS ARE BEING USED TO CONTROL TRAFFIC.
- PLACE REDUCED SPEED ZONE AHEAD SIGN (W20-5) WHEN USING A SPEED REDUCTION IN THIS DIRECTION.
- THE NUMBER OF W-8 SHIELD SIGNS TO PLACE FOR A SHIELD IS AS FOLLOWS:
 - SHIELD 501 TO 1391, PLACE TWO W-8 SIGNS
 - SHIELD 1392 TO 1397, PLACE TWO W-8 SIGNS
 - SHIELD 1398 TO 1401, PLACE THREE OR MORE W-8 SIGNS DEPENDING UPON LENGTH OF SHIELD AND AS PER THE ENGINEER.
- PLACE R2-1 SIGNS AS DETAILED IN NOTE 55 WHEN THERE IS A SPEED REDUCTION IN THIS DIRECTION.

MDOT NOT TO SCALE
 NO. 102-GEN-NOTES
 DATE: APRIL 2022
 SHEET: 1 OF 2

THE FOLLOWING NOTES APPLY IF CALLED FOR ON THE TRAFFIC TYPICAL

SIGNAL NOTES

- EXISTING SIGNALS MUST BE FIT-4R 4-WAY FLASHING RED, BAGGED, OR TURNED OFF.
- SIGNAL IS IN OPERATION.
- DELINEATE THE WORK ZONE AREA WITH 58 INCH CONES FOR DAY-TIME WORK, OR 42 INCH CHANNELIZING DEVICES FOR NIGHT-TIME WORK.
- THE CONTRACTOR MUST HAVE A DESIGNATED SPOTTER IF THE AREA, BUCKET TRUCK IS LOCATED OVER ACTIVE TRAFFIC LANE.
- THE LOWEST POINT OF THE BUCKETS MAY NOT EXCEED 14 FEET VERTICAL CLEARANCE. THE CONTRACTOR MUST ALSO MAINTAIN ADEQUATE CLEARANCE FROM THE BUCKETS TO THE ROADWAY. THE BUCKETS MUST BE PROTECTED BY CHAINING OR CHAINING DEVICES TO PREVENT CONTACT THROUGH THE BUCKETS TO THE ROADWAY. BUCKETS TO BE PROTECTED IN A 4-WAY STOP.
- DELINEATE THE TRUCK WITH CHANNELIZING DEVICES. THE POSITION OF THE TRUCK MAY BE MOVED TO FACILITATE WORK.

MAINTENANCE AND SURVEYING NOTES

- WHENEVER STOPPING SIGN DISTANCE EXISTS TO THE REAR, THE SHADOW VEHICLES SHOULD MAINTAIN THE RECOMMENDED DISTANCE FROM THE WORK AREA AND PROCEED AT THE SAME SPEED. THE SHADOW VEHICLES SHOULD SLOW DOWN AND TRAVEL AT A FURTHER DISTANCE TO PROVIDE ADEQUATE STOPPING DISTANCE IN ADVANCE OF VERTICAL OR HORIZONTAL CURVES.
- WORKERS OUTSIDE OF VEHICLES SHOULD WORK WITHIN 150' OF WORK VEHICLES WITH AN ACTIVATED BEACON. BETWEEN THE "BEHIND WORK ZONE" SIGN AND THE "NO WORK ZONE" SIGN, OR BETWEEN THE "WORK ZONE BEGINS" AND "END ROAD WORK" SIGN.
- WORK ON SHADOW VEHICLES WITH OR WITHOUT A TRAILER MAY BE USED TO SEPARATE THE WORK SPACE FROM TRAFFIC. IF USED, THE VEHICLES SHOULD BE PARKED ACCORDING TO THE ROLL-AHEAD DISTANCE TABLES.
- WORK AND SHADOW VEHICLES SHALL BE APPROPRIATELY EQUIPPED WITH AN ACTIVATED AMBER BEACON.
- WHEN WORKERS ARE OUTSIDE THEIR VEHICLES IN AN EXISTING LANE WHILE A MOBILE OPERATION IS OCCURRING DURING THE NIGHTTIME HOURS, CHANNELIZING DEVICES TO BE PLACED ON OR CLOSED SPACING OF 50 FT SPACING MUST BE USED. AN EXAMPLE OF AN OPERATION NOT LIMITED TO 15' IS THE LAYOUT OF CONCRETE PATCHES.
- WHEN R2-1 SIGNS ARE SUBSTITUTED AS DETERMINED BY THE TYPE OF WORK TAKING PLACE AS PER THE ENGINEER.

RAMP NOTES

RAMP: WHEN CONDITIONS ALLOW, R2-1 SIGNS MUST BE REMOVED OR COVERED AND CHANNELIZING DEVICES MUST BE POSITIONED TO ENABLE RAMP TRAFFIC TO DIVERGE IN A FREE MANNER.

RAMP: STOP AND YIELD CONDITIONS SHOULD BE AVOIDED WHENEVER PRACTICAL. WHEN CONDITIONS WARRANT, R2-1 SIGNS MAY BE USED IN PLACE OF R2-2 SIGNS. WHEN R2-1 SIGNS ARE USED, R2-1 SIGNS MUST BE USED IN PLACE OF R2-2 SIGNS. CONSIDERATION SHOULD BE GIVEN TO CLOSING THE RAMP TO COMPLETE WORK TO ALLOW AN ADEQUATE MERGE DISTANCE. WORK SHOULD BE EXPEDITED TO AVOID THE STOP AND/OR YIELD CONDITIONS.

MDOT NOT TO SCALE
 NO. 102-GEN-NOTES
 DATE: APRIL 2022
 SHEET: 2 OF 2



TULIP TREE



SERVICEBERRY



KNOCKOUT ROSE



LITTLE LEAF BOXWOOD



STELLA D'ORO DAYLILY



LITTLE BLUESTEM GRASS



STONECROP



KARL FOERSTER GRASS



PURPLE CONEFLOWER



YELLOW CONEFLOWER



BEE BALM

PLANT MATERIAL LIST

DECIDUOUS TREES

QTY	KEY	BOTANICAL NAME COMMON NAME	MIN. REQ'D SIZE	COMMENTS
1	LT	<i>Liriodendron tulipifera</i> Tulip Tree	Min. 2" Cal.	BALLED & BURLAPPED

ORNAMENTAL TREE

QTY	KEY	BOTANICAL NAME COMMON NAME	MIN. REQ'D SIZE	COMMENTS
2	AL	<i>Amelanchier laevis</i> Serviceberry, allegheny	Min. 7' HT	BALLED & BURLAPPED

SHRUBS

QTY	KEY	BOTANICAL NAME COMMON NAME	MIN. REQ'D SIZE	COMMENTS
24	BM	<i>Buxus microphylla</i> Little Leaf Boxwood	# 5 CONT.	PLANT 3' - 4' O.C.
10	RR	<i>Rosa x 'Radtkopin'</i> Double Knockout Rose	# 5 CONT.	PLANT 3' - 4' O.C.

PERIENNIALS

QTY	KEY	BOTANICAL NAME COMMON NAME	MIN. REQ'D SIZE	COMMENTS
6	CA	<i>Calamagrostis x acutiflora</i> Karl Foerster Grass	# 1 CONT.	PLANT 2' O.C.
13	EA	<i>Echinacea angustifolia</i> Purple Coneflower	# 1 CONT.	PLANT 1' - 3' O.C.
32	EP	<i>Echinacea paradoxa</i> Yellow Coneflower	# 1 CONT.	PLANT 1' - 3' O.C.
42	HS	<i>Echinacea paradoxa</i> Stella D' Oro Daylily	# 1 CONT.	PLANT 1' O.C.
8	MD	<i>Monarda didyma</i> Scarlet Beebalm	# 1 CONT.	PLANT 2' O.C.
10	SS	<i>Schizachyrium scoparium</i> Little Bluestem	# 1 CONT.	PLANT 2' O.C.
6	ST	<i>Sedum ternatum</i> Woodland Stonecrop	#1 CONT.	CENTER OF POT



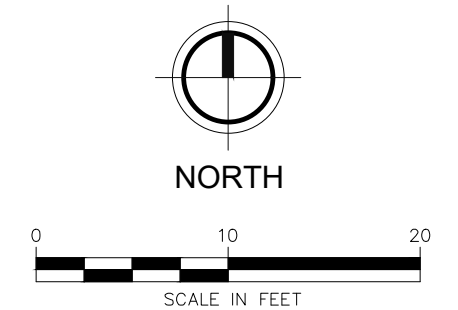
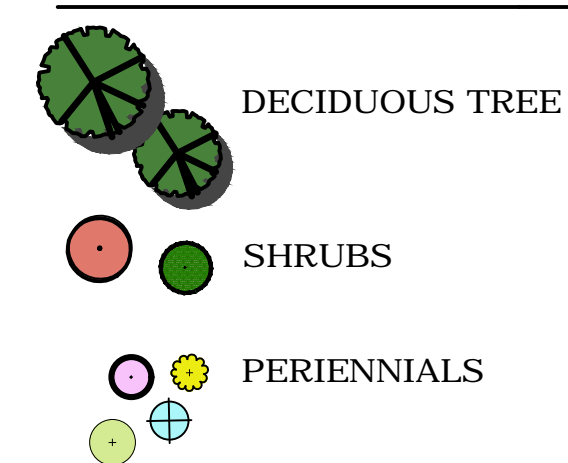
PLANTING NOTES

- ALL TREES SHALL RECEIVE A 5' DIAMETER RING OF EVENLY SPREAD HARDWOOD BARK MULCH 3" THICK.
- CONTRACTOR SHALL NOTIFY OUPS AT 811 TO LOCATE ANY UNDERGROUND UTILITY LINES OR STRUCTURES PRIOR TO STARTING CONSTRUCTION.
- ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS STOCK, GROWN WITH GOOD HORTICULTURAL PRACTICE AND INSTALLED IN ACCORDANCE WITH METHODS ESTABLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- LAWN SEED SHALL BE PLACED OVER 4" TOPSOIL IN ALL PROPOSED LAWN AND RESTORATION AREAS AND MULCHED. SEED MIX SHALL BE HARDY AND OBTAINED FROM LOCAL SOURCES.
- ALL PLANTINGS AND LANDSCAPE IMPROVEMENTS SHALL BE CONSISTENT WITH THE STANDARDS OF THE CITY OF BERKLEY PLANTING MANUAL AND LANDSCAPE REGULATION GUIDELINES.

LANDSCAPE MAINTENANCE NOTES

- ALL LANDSCAPE AREAS SHALL BE IRRIGATED. IRRIGATION SHALL ONLY OCCUR BETWEEN THE HOURS OF 12 AM AND 5 AM
- LANDSCAPING SHALL BE KEPT IN A NEAT, ORDERLY AND HEALTHY GROWING CONDITION, FREE FROM DEBRIS AND REFUSE.
- PRUNING SHALL BE MINIMAL AT THE TIME OF INSTALLATION, ONLY TO REMOVE DEAD OR DISEASED BRANCHES. SUBSEQUENT PRUNING SHALL ASSURE PROPER MATURATION OF PLANTS TO ACHIEVE THEIR APPROVED PURPOSE.
- ALL DEAD, DAMAGED, OR DISEASED PLANT MATERIAL SHALL BE REMOVED IMMEDIATELY AND REPLACED WITHIN SIX MONTHS AFTER IT DIES OR IN THE NEXT PLANTING SEASON, WHICHEVER OCCURS FIRST. FOR PURPOSES OF THIS SECTION, THE PLANTING SEASON FOR DECIDUOUS PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1 AND FROM OCTOBER 1 UNTIL THE PREPARED SOIL BECOMES FROZEN. THE PLANTING SEASON FOR EVERGREEN PLANTS SHALL BE BETWEEN MARCH 1 AND JUNE 1. PLANT MATERIAL INSTALLED TO REPLACE DEAD OR DISEASED MATERIAL SHALL BE AS CLOSE AS PRACTICAL TO THE SIZE OF THE MATERIAL IT IS INTENDED TO REPLACE. THE CITY MAY NOTIFY PROPERTY OWNERS OF THE NEED TO REPLACE DEAD, DAMAGED, OR DISEASED MATERIAL.
- THE APPROVED LANDSCAPE PLAN SHALL BE CONSIDERED A PERMANENT RECORD AND INTEGRAL PART OF THE SITE PLAN APPROVAL, UNLESS OTHERWISE APPROVED IN ACCORDANCE WITH THE AFOREMENTIONED PROCEDURES. ANY REVISIONS TO OR REMOVAL OF PLANT MATERIALS, OR NON-COMPLIANCE WITH THE MAINTENANCE REQUIREMENTS OF ZONING ORDINANCE WILL PLACE THE PARCEL IN NON-COMFORMITY WITH THE APPROVED LANDSCAPE PLAN AND BE A VIOLATION OF THE ORDINANCE.
- IF PROTECTED TREES ARE DAMAGED, A FINE SHALL BE ISSUED ON AN INCH-BY-INCH BASIS AT A MONETARY RATE AS DEFINED BY THE FORESTRY DEPARTMENT.

LANDSCAPE LEGEND KEY



REVISION:

SEVEN POINT BERKLEY
28531-28557 WOODWARD AVE, BERKLEY, MI 48072

LANDSCAPE PLAN

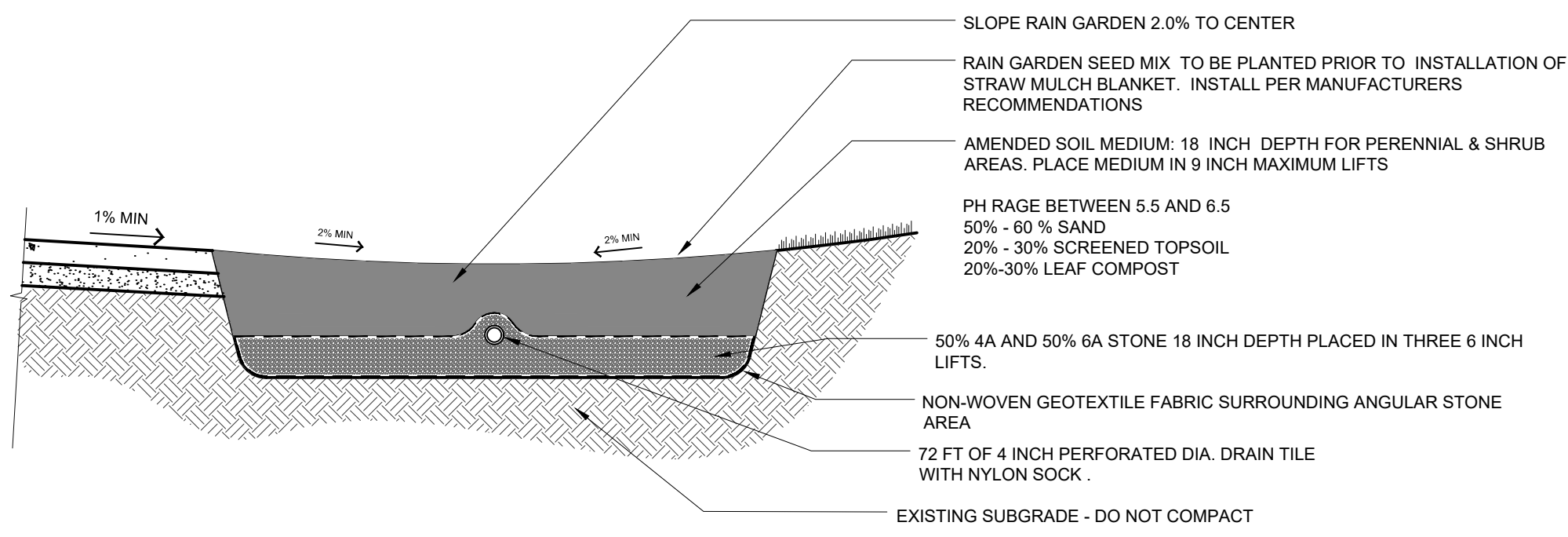
DESIGN TEAM: PROJ MGR: BTS
DESIGNED BY: RCL
DRAWN BY: RCL
CHECK BY:

DRAWING INFORMATION:
855100-L101-LSCP
080922 andrew.filler

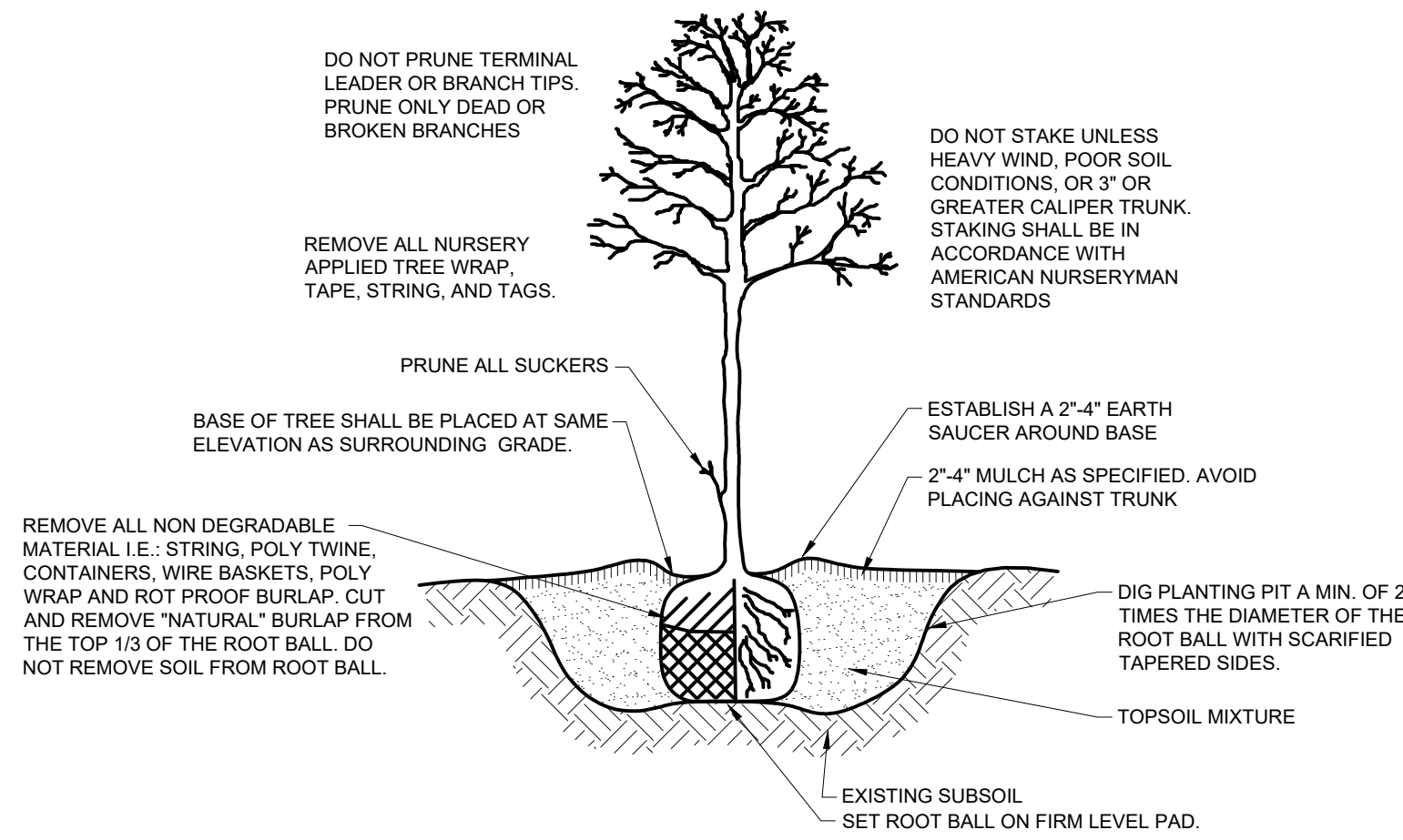
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APRIL 2022
F&V PROJECT NO.
855100

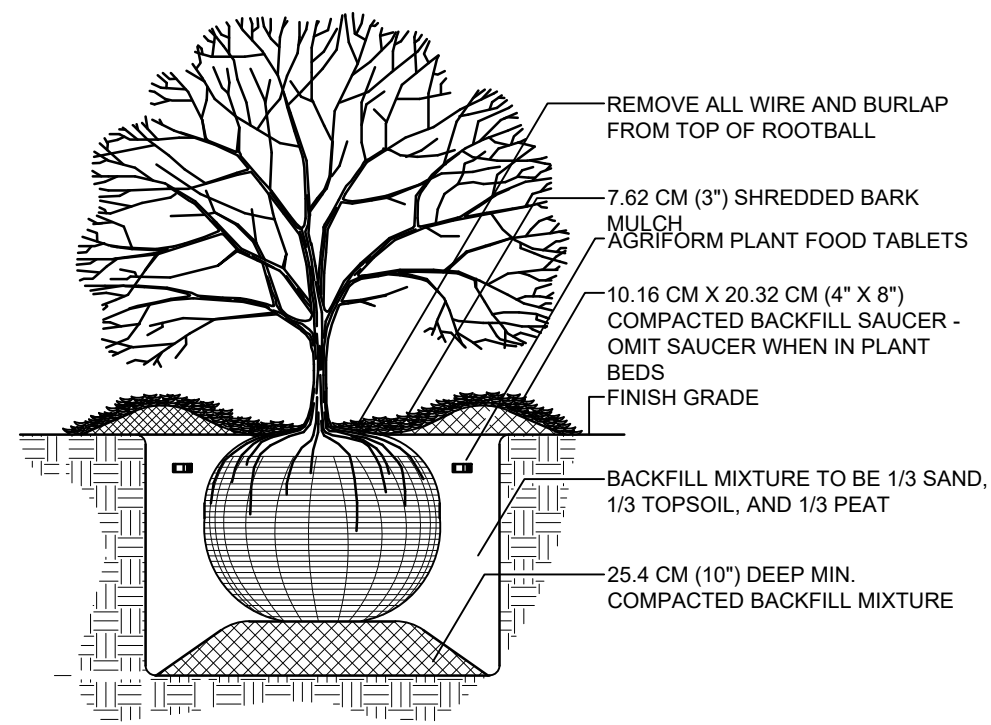
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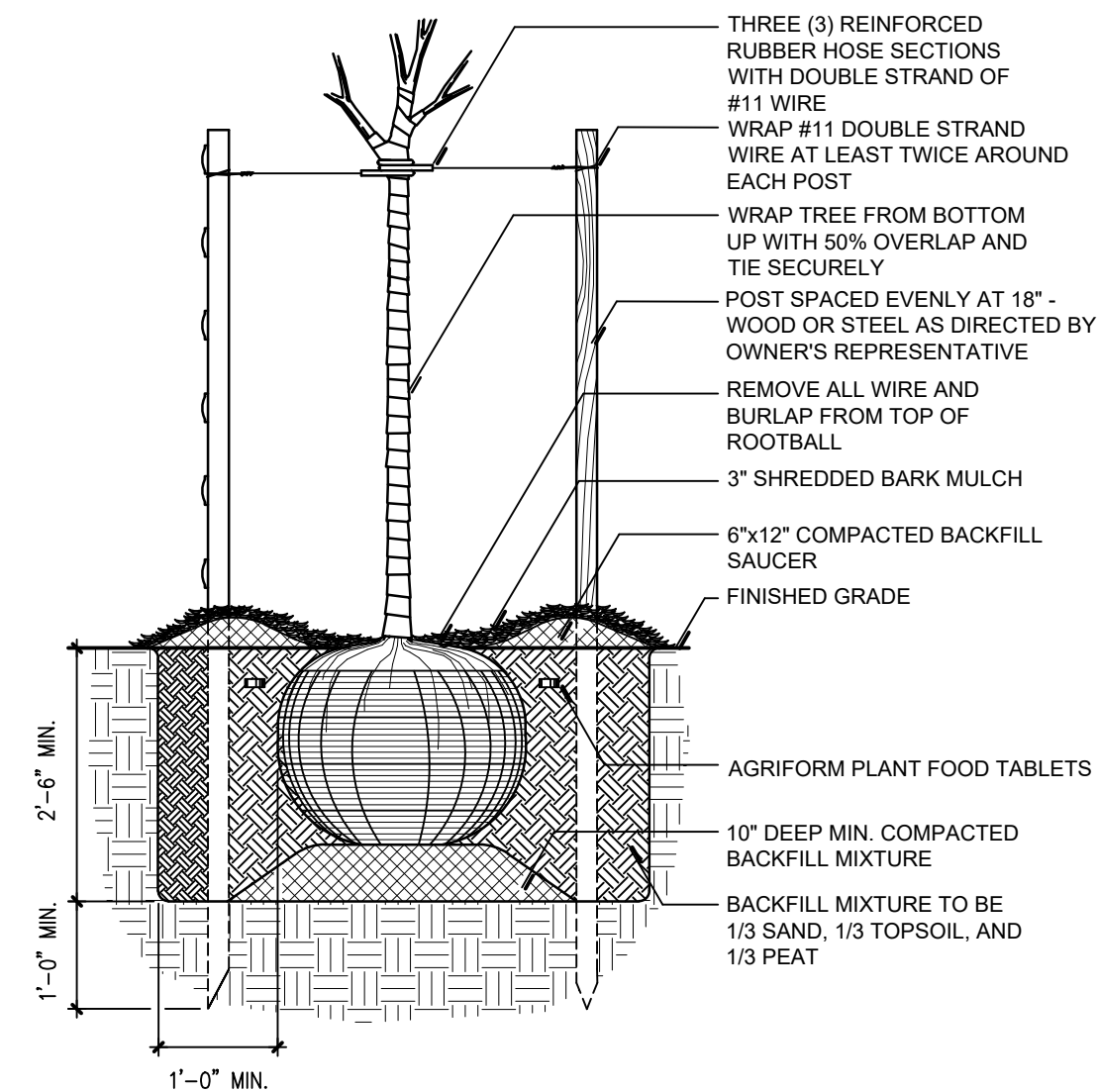
RAIN GARDEN PREPARATION
NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL
(LESS THAN 3" CALIPER AND OF 8' IN HEIGHT)
NOT TO SCALE

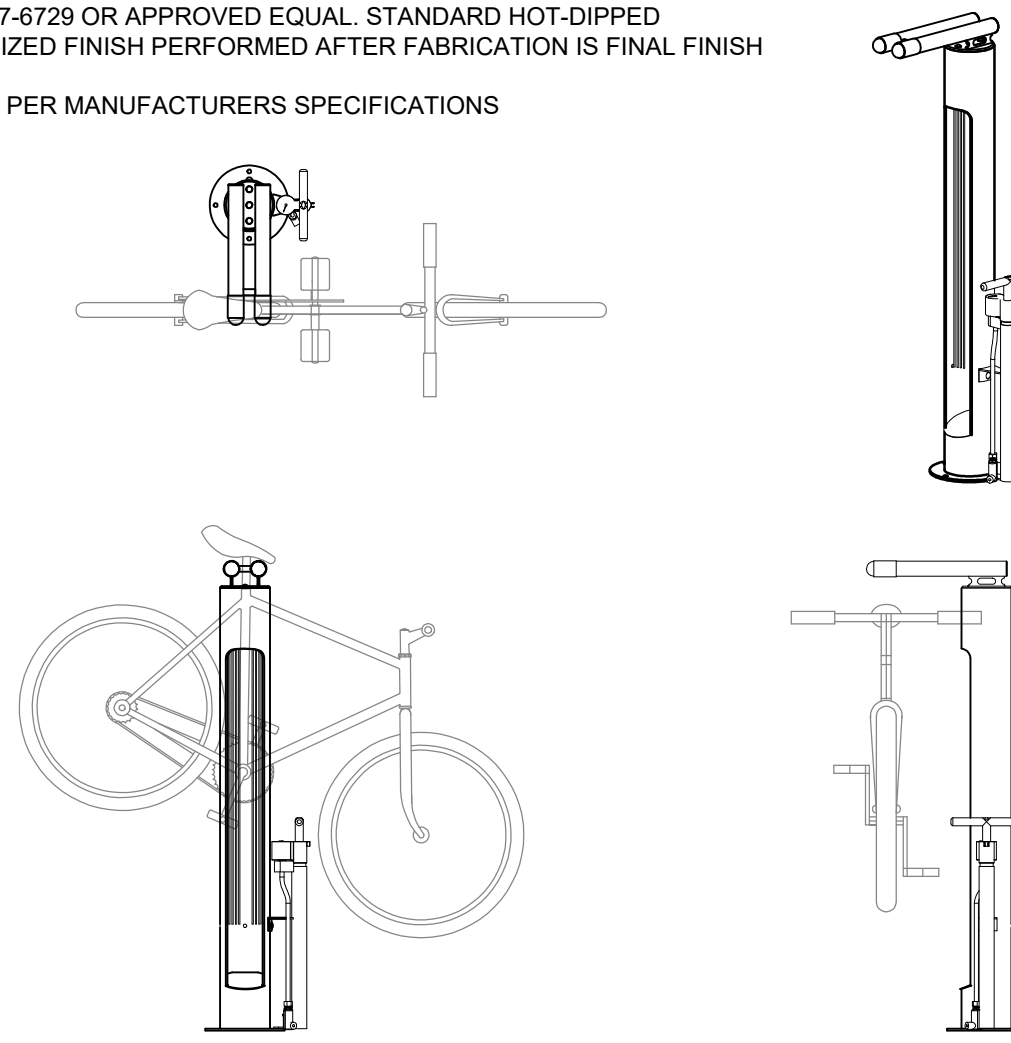


SHRUB INSTALLATION
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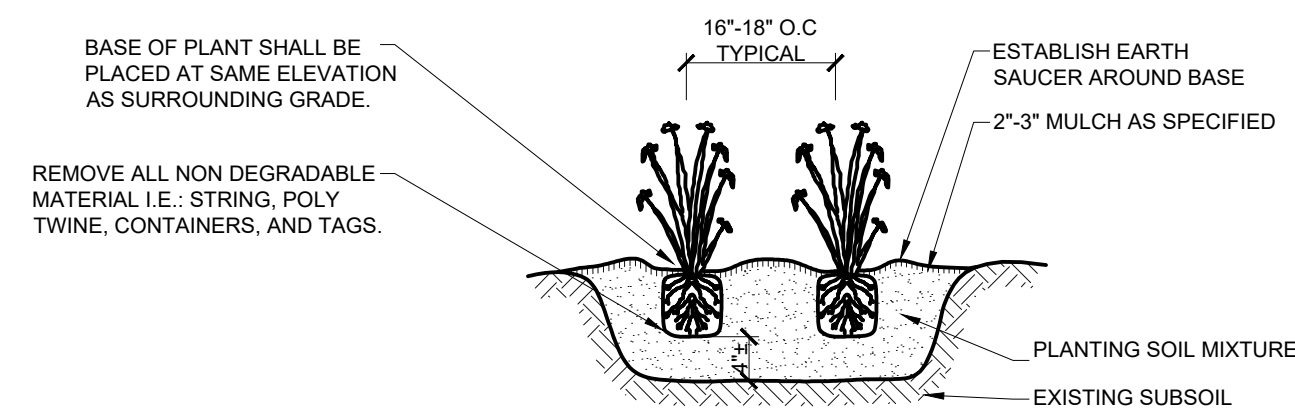


TREE PLANTING DETAIL
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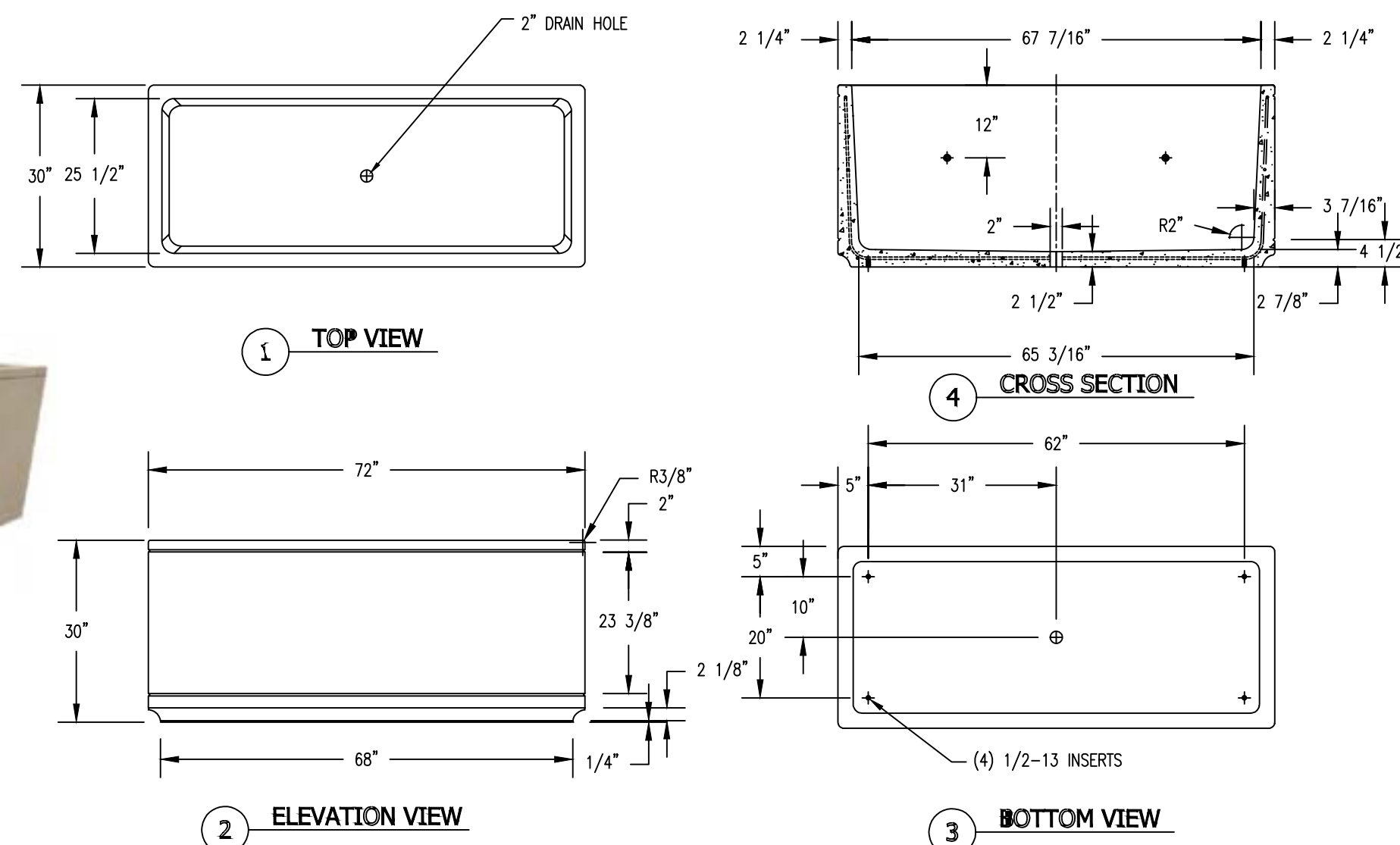
FIXIT BICYCLE REPAIR RACK MANUFACTURED BY DERO BIKE RACK CO., 42 NORTHERN STACKS DRIVE, SUITE 100, MINNEAPOLIS, MN 55421, 1-888-337-6729 OR APPROVED EQUAL. STANDARD HOT-DIPPED GALVANIZED FINISH PERFORMED AFTER FABRICATION IS FINAL FINISH. INSTALL PER MANUFACTURERS SPECIFICATIONS.



FIXIT BIKE REPAIR STATION
NOT TO SCALE



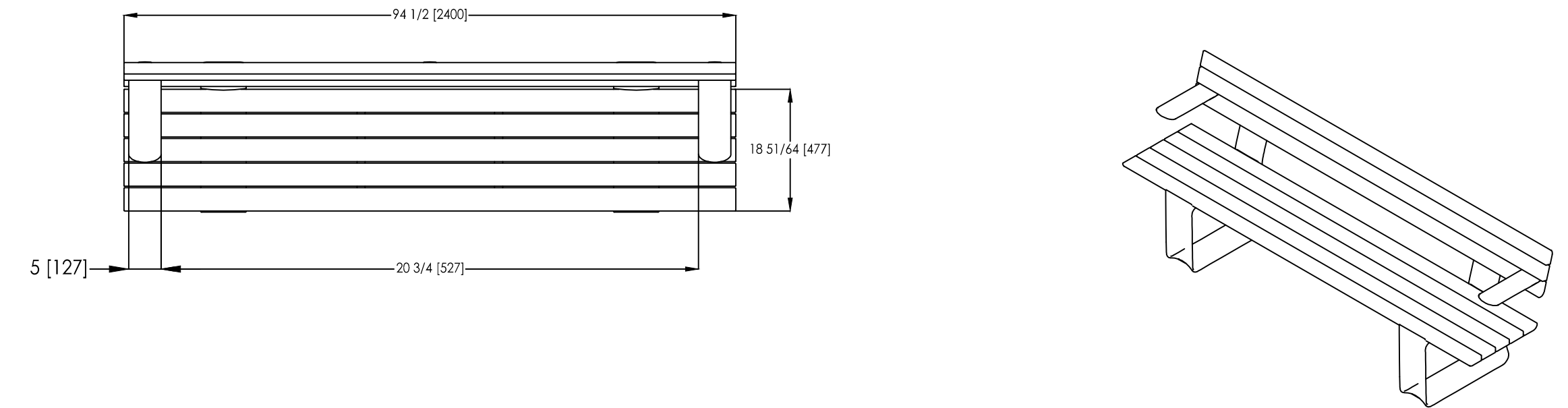
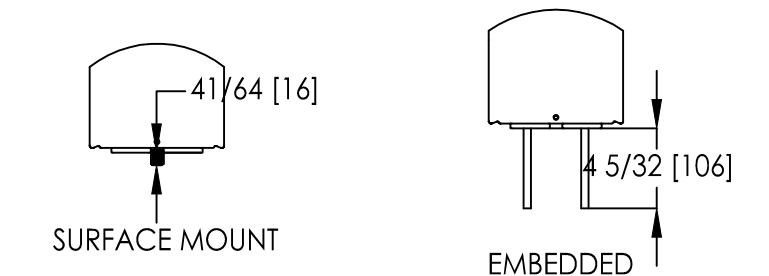
POTTED PERENNIAL PLANTING DETAIL
NOT TO SCALE



MultipliCITY Backed bench, straight, end arms
Product Drawing

Date: 10/20/2016
Ph: 800.521.2546
www.landscapeforms.com

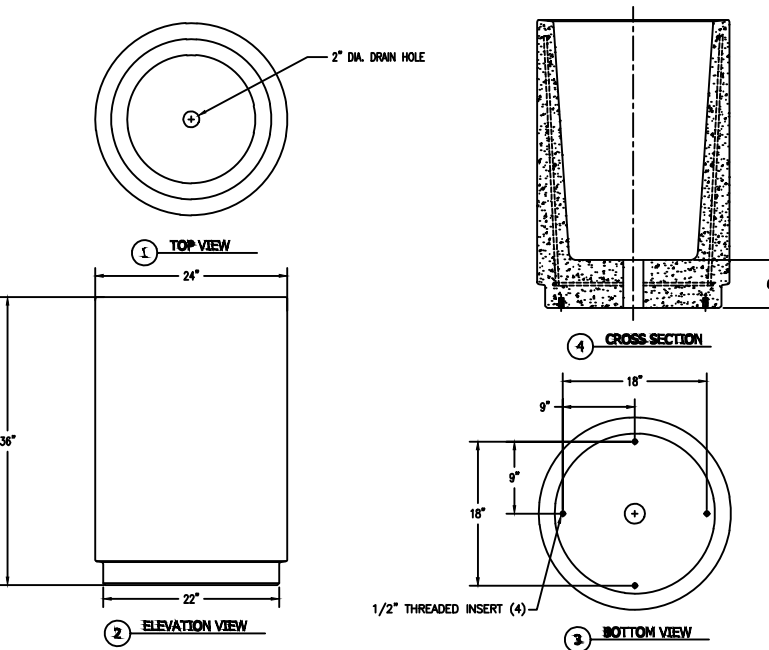
REFER TO INSTALLATION GUIDE FOR MORE DETAILS
SURFACE MOUNT OPTION INCLUDES (4) 5/8-11 THREADED ANCHORS. CONCRETE DROP-IN ANCHORS NOT INCLUDED. EMBEDDED OPTION INCLUDES (4) 3/8-16 THREADED RODS.



NON-MARRING FREESTANDING GLIDES. LEAVE GLIDES INSTALLED IF OTHER MOUNTING OPTION IS SPECIFIED.

Drawing: FU301-02
Dimensions are in inches [mm]
U.S. Patent No. 0,712,184
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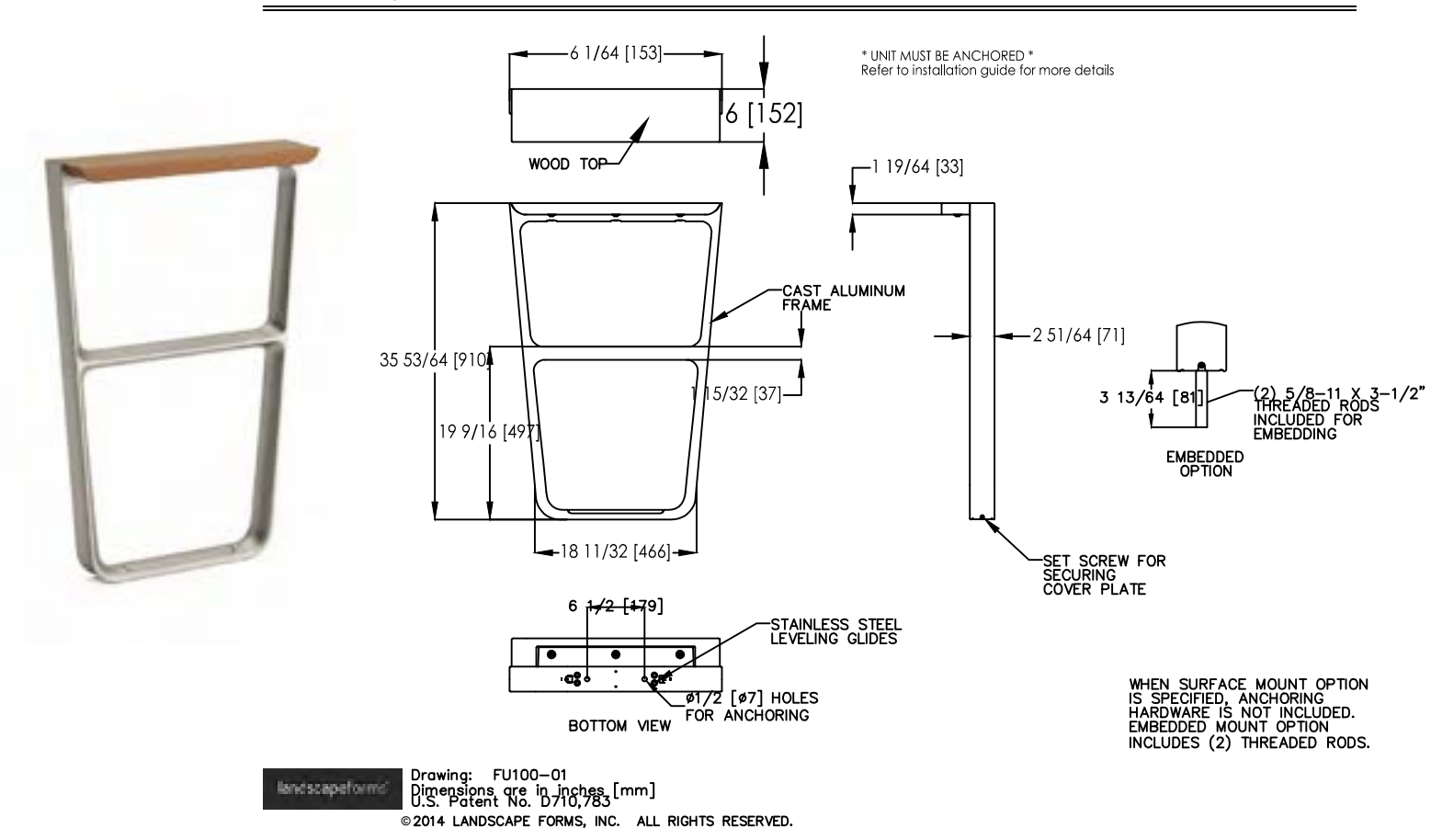
WAUSAU TILE TF4175 Form Rectangular Concrete Planter



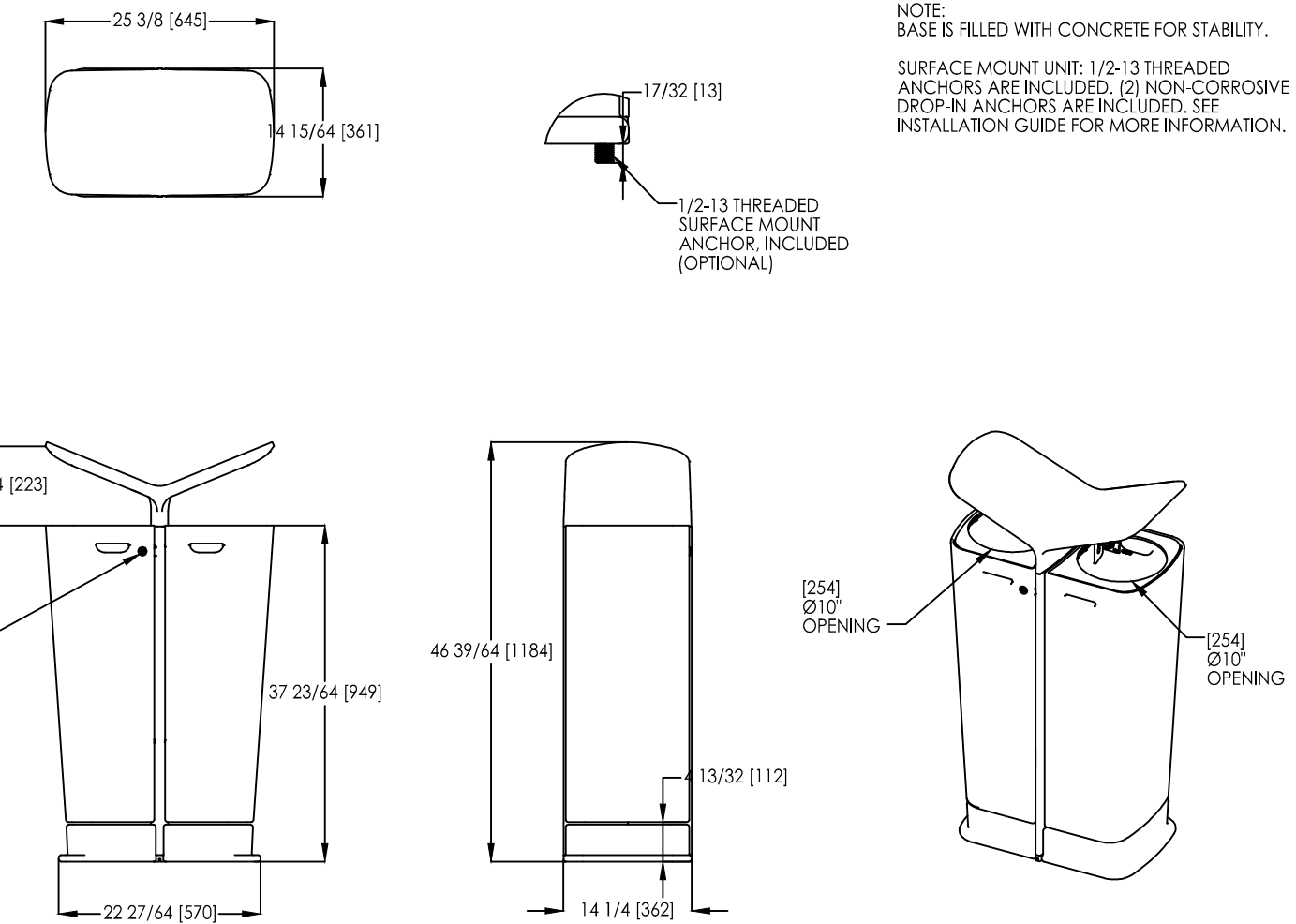
WAUSAU TILE TF4354 Round Concrete Planter



MultipliCITY Bike rack, surface mount
Product Drawing
www.landscapeforms.com
Date: 5/5/2015
Ph: 800.521.2546



MultipliCITY litter, double unit, freestanding / surface mount, multi-use opening, multi-use opening, with locks
Product Drawing



Drawing: FU501-08
Dimensions are in inches [mm]
U.S. Patent No. 0,717,911
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FLEIS&VANDENBRINK
DESIGN. BUILD. OPERATE.
2960 Lucerne Drive SE
Grand Rapids, MI 49548
P: 616.977.1000
F: 616.977.1005

REVISION:
Planning Commission Sub. 0713/2022 ANF

SEVEN POINT BERKLEY
28531-28557 WOODWARD AVE, BERKLEY, MI 48072
LANDSCAPE DETAILS

DESIGN TEAM: PROJ MGR: BTS
DESIGNED BY: RCL
DRAWN BY: RCL
CHECK BY:
DRAWING INFORMATION:
855100-L501-DETL
080922 joel.oconnell

NOT FOR CONSTRUCTION
APRIL 2022
F&V PROJECT NO. 855100

L501

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APPLICATION FOR SITE PLAN REVIEW

NOTICE TO APPLICANT: Applications for Site Plan review by the Planning Commission must be submitted to the City of Berkley Building Department in *substantially complete form* at least 30 days prior to the Planning Commission's meeting at which the application will be considered. The application must be accompanied by the data specified in the Zoning Ordinance, including fully dimensioned site plans, plus the required review fees.

The Planning Commission meets the fourth Tuesday of the month at 7:00pm in the Council Chambers at the City of Berkley City Hall, 3338 Coolidge Hwy, Berkley, MI 48072.

TO BE COMPLETED BY APPLICANT:

I (We), the undersigned, do hereby respectfully request Site Plan Review and provide the following information to assist in the review:

Project Name: Seven Point Berkley

Applicant: Seven Point Dispensing of Michigan, LLC

Mailing Address: 3445 Robina Avenue Berkley, MI 48072

Telephone: [REDACTED]

Email: [REDACTED]

Property Owner(s), if different from Applicant: Greenside Trust

Mailing Address: 1359 Davis Birmingham, MI 48009

Telephone: [REDACTED]

Email: [REDACTED]

Applicant's Legal Interest in Property: Applicant is an ancillary beneficiary of the Greenside Trust

LOCATION OF PROPERTY:

Street Address: 28531-28557 Woodward Avenue

Nearest Cross Streets: Wiltshire Road and Woodward Avenue

Sidwell Number(s): 2517257025 and 2517257008

PROPERTY DESCRIPTION:

Provide lot numbers and subdivision: Lots 356 to 358 Vinsetta Park Subdivision

Property Size (Square Feet): 5,314 Square Feet (Acres): 0.12 Acres

EXISTING ZONING DISTRICT *(please check):*

- | | | |
|-------------------------------|--|-------------------------------------|
| <input type="checkbox"/> R-1A | <input type="checkbox"/> Local Business | <input type="checkbox"/> Coolidge |
| <input type="checkbox"/> R-1B | <input type="checkbox"/> Office | <input type="checkbox"/> Downtown |
| <input type="checkbox"/> R-1C | <input type="checkbox"/> Community Centerpiece | <input type="checkbox"/> Industrial |
| <input type="checkbox"/> R-1D | <input checked="" type="checkbox"/> Woodward | <input type="checkbox"/> Cemetery |
| <input type="checkbox"/> RM | <input type="checkbox"/> Eleven Mile | <input type="checkbox"/> Parking |
| <input type="checkbox"/> RMH | <input type="checkbox"/> Twelve Mile | |

Present Use of Property: 28557 Woodward Avenue is currently vacant

Proposed Use of Property: Marihuana adult-use retail and medical provisioning center

Is the property located within the Downtown Development Authority? Yes No

PROJECT DESCRIPTION:

Marihuana adult-use retail and medical provisioning center

Does the proposed project / use of property require Special Land Use approval? Yes No

Does the proposed project require Variance(s) from the Zoning Board of Appeals? Yes No

If yes, please describe Variances required:

PLEASE COMPLETE THE FOLLOWING CHART:

Type of Development	Number of Units	Gross Floor Area	Number of Parking Spaces On Site	Number of Employees on Largest Shift
Attached Residential				
Office				
Commercial	1	3,405 Square Feet	19 (including 1 barrier free)	TBD
Industrial				
Other				

PROFESSIONALS WHO PREPARED PLANS:

A. Name: Brian Howard/HF Architecture
 Mailing Address: 512 N. Main Street Suite 100 Royal Oak, MI 48067
 Telephone: [REDACTED]
 Email: [REDACTED]
 Design Responsibility (engineer, surveyor, architect, etc.): Architect

B. Name: Brian Sinnott/Fleis & Vandenbrink
 Mailing Address: 2960 Lucerne Drive SE, Suite 100 Grand Rapids, MI 49546
 Telephone: [REDACTED]
 Email: [REDACTED]
 Design Responsibility: Civil Engineer

SUBMIT THE FOLLOWING:

1. Fifteen (15) individually folded copies of the site plans, measuring 24" x 36", sealed by a registered architect, engineer, or surveyor.
2. A pdf file of the site plans, submitted to the Community Development Director.
3. Proof of property ownership (title insurance policy or registered deed with County stamp).
4. Review comments or approval received from County, State or Federal agencies that have jurisdiction over the project, including, but not limited to:

- | | |
|---|--|
| <input type="checkbox"/> Road Commission for Oakland County | <input type="checkbox"/> Oakland County Health Division |
| <input type="checkbox"/> MI Dept. of Transportation | <input type="checkbox"/> MI Dept. of Environment, Great Lakes & Energy |

PLEASE NOTE: The applicant, or a designated representative, **MUST BE PRESENT** at all scheduled meetings, or the Site Plan may be tabled due to lack of representation.

Failure to provide true and accurate information on this application shall provide sufficient grounds to deny approval of a Site Plan Application or to revoke any permits granted subsequent to the site plan approval.

We encourage applicants to make a presentation of the proposed project to the Planning Commission and City Council, as appropriate. To assist in this effort, we have available for your use at meetings a projector, laptop computer and screen. This will allow the Planning Commission and audience to be fully engaged so they can give your project the attention it deserves. Planning Commission meetings are recorded and televised.

PROPERTY OWNER'S APPROVAL: (Initial each line)

dl I hereby authorize the employees and representatives of the City of Berkley to enter upon and conduct an inspection and investigation of the above-referenced property.

APPLICANT'S ENDORSEMENT: (Initial each line)

GR All information contained therein is true and accurate to the best of my knowledge.

GR I acknowledge that the Planning Commission will not review my application unless all information in this application and the Zoning Ordinance has been submitted. I further acknowledge that the City and its employees shall not be held liable for any claims that may arise as a result of acceptance, processing or approval of this site plan application.

GR I hereby acknowledge that if engineering or other reviews are required, additional fees must be submitted. Should the review fees be greater than the required minimum, sufficient additional charges will be imposed to satisfy the additional review fees. All fee obligations must be satisfied prior to permit approval.

If an application is withdrawn more than three (3) weeks prior to the meeting date, 90% of the fee will be refunded. If the application is withdrawn less than three (3) weeks prior to the meeting, no refund will be given.

Gabe Rubin

7/18/2022

Signature of Applicant

Date

Gabe Rubin, authorized representative of Seven Point Dispensing of Michigan, LLC

Applicant Name (Print)

Signature of Applicant

Date

Applicant Name (Print)

Dan Winter

7-18-22

Signature of Property Owner Authorizing this Application

Date

Dan Winter, authorized representative of the Greenside Trust

Property Owner Name (Print)

OFFICE USE ONLY

Received 7/18/22 Receipt # _____ Meeting Date _____ Case # ASP-15-22

Fees: Site Plan Review \$600 Façade Change: \$200 Revision: \$300

Extension \$200 Engineering: Multi-family \$1,500 + \$30/unit

Escrow (New construction) \$1,000 Commercial \$1,000




CITY OF BERKLEY
DEPARTMENT OF PUBLIC WORKS
3238 BACON AVE, BERKLEY, MICHIGAN 48072

Transmittal Memo

To: Kristen Kapelanski, Community Development Director (via email)

Cc: Kim Anderson, Community Development Department (via email)
Ric Chalmers, Assistant DPW Director (via email)
Eddie Zmich, HRC (via email)

From: Shawn Young, DPW Director 

Date: August 24th, 2022

Subject: Review #2 Seven Points Provisioning Center 28557 Woodward Ave

We have reviewed the site plans provided by the Community Development Department. Please find below our Initial comments:

1. The site plans will be reviewed by the City's engineering consultant, Hubbell, Roth & Clark (HRC). Among other things, HRC will review the storm water detention calculations and site grading.
2. A traffic control plan shall be added to the plan set to account for the proposed Right of Way impacts of both Wiltshire RD and Woodward Ave.
3. Woodward Ave is under the jurisdiction of the Michigan Department of Transportation. The applicant shall share feedback received and/or an approved MDOT plan prior to the start of construction.

A response letter from the applicant to these comments would be helpful in subsequent reviews.

Feel free to call with any questions or concerns. Thank you.



August 24, 2022

City of Berkley
3338 Coolidge Highway
Berkley, Michigan 48072

Attention: Ms. Kristen Kapelanski, Community Development Director
Mr. Matthew Baumgarten, City Manager

Re: Seven Points Provisioning Center
28557 Woodward Avenue
Engineering Site Plan – Review No. 2
City of Berkley, MI

HRC Job No. 20220405.02

Dear Ms. Kapelanski and Mr. Baumgarten:

As Consulting Engineers for the City of Berkley, and in accordance with your request, we have completed the Engineering Site Plan review of the proposed subject development located at 28557 Woodward Avenue for compliance with the City of Berkley's engineering and site plan requirements. The plans were prepared by Fleis & Vandenbrink of Grand Rapids, Michigan with an issue date of August 9, 2022. The proposed project scope includes the renovation of the existing building and replacement of the existing parking lot and other site features. We hereby offer the following comments:

General:

1. A Michigan Department of Transportation (MDOT) Right-of-Way permit will be required for proposed work within the Woodward Road right-of-way as well as for construction signage. **This item is still applicable.**
2. A traffic control plan and sequence of construction must be added to the plans, including an estimated duration for any lane closures that may be required. **Maintenance of traffic plans and details, and an estimated sequence of construction with closure durations have been added. The traffic control plan must ultimately be approved as part of the MDOT right-of-way permit. This item has been satisfactorily addressed.**
3. All existing utilities and service leads must be shown on the plans. **Service lead locations are shown on the plans with notes to protect/reuse. This item has been satisfactorily addressed.**
4. All proposed utilities and service leads, as well as proposed connections and/or methods of abandonment of existing leads, must be shown on the plans. If any leads are proposed to be reused, the applicant must have the lead inspected by a licensed contractor/plumber and the video footage submitted to the City verifying the lead is suitable for re-use prior to construction. **This note has been added to the plans. This item has been satisfactorily addressed.**

Storm Drainage and Detention/Sanitary Sewer:

1. Stormwater runoff calculations have been provided using a 100-year, 24-hour storm event, however, only the area of the proposed parking lot has been included in the calculations. Detention must be provided for the entire improved site as per City ordinances. **Stormwater calculations have been updated to include the drainage area from the full site. This item has been satisfactorily addressed.**

2. The stormwater calculations show that 1,925 cubic feet of storage is required, however, the StormTech Chamber System Details show the system to only provide 1,104 cubic feet of storage, including the stone. Storage must be provided on the proposed site to account for the full value required by Oakland County standards. The required storage volume must be revised as per the previous comment as well to include the full site area. **The chamber storage volumes have been increased and the two chambers will provide adequate storage to detain the stormwater on site, however, the stormwater collected from the building area of the site does not reach the chambers to be detained and is instead proposed to flow into the rain garden and directly into the restricted outlet into the City sewer. To properly utilize the storage and meet the County requirements, the stormwater collected from the roof should be directed into the proposed underground system where it can be detained.**
3. The StormTech Chamber System Detail shows a minimum cover of 48 inches from the invert of the chamber to the **bottom** of the proposed pavement. The grading plan shows only 48 inches of total cover from the invert to the **top** of proposed pavement, which does not meet this requirement. The cover must be revised to meet manufacturer specifications. **The plans have been revised to use smaller chambers and the grading plan shows that adequate cover is proposed above the storm system. This item has been satisfactorily addressed.**
4. The developer will be required to prepare and enter into a perpetuity maintenance agreement with the City for the proposed private stormwater systems. The Applicant must contact the City DPW regarding this item prior to commencing construction. **This item is still applicable. In addition to the maintenance agreement, the City will require that the constructed storm detention system be certified by way of a signed/sealed letter by the Applicant's engineer upon completion.**
5. Note that downspouts are not permitted to discharge directly into the combined sewer system and must be directed onto grass, landscape or other green space area. They may also be directed through the proposed stormwater detention system and restricted-outlet structure. The location of the proposed downspouts and the above note must be shown on the plans. **The downspouts have been shown on the plans and will be directed into the rain garden. As stated above, however, these should be directed into the underground storage below the parking lot.**

Recommendation:

Based on our aforementioned comments, we recommend approval of the proposed Site Plan subject to the applicant revising the stormwater connection from the downspouts, and obtaining and submitting copies of any required permits as well as the stormwater maintenance agreement.

If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Edward D. Zmich
Project Manager



Mitch Stark
Review Engineer

EDZ/MAS/mas

pc: City of Berkley; Shawn Young, Kim Anderson
HRC; R. Alix, File
Fleis & Vandenbrink; Brian Sinnott



Carlisle | Wortman
ASSOCIATES, INC.

117 NORTH FIRST STREET SUITE 70 ANN ARBOR, MI 48104 734.662.2200 734.662.1935 FAX

Date: August 1, 2022
August 18, 2022

Site Plan Review For City of Berkley, Michigan

Applicant: Gabe Rubin

Project Name: Seven Point Dispensing of Michigan

Plan Date: August 1, 2022

Location: 28557-28531 Woodward Avenue

Zoning: Woodward District and Parking District

Action Requested: Site Plan Approval

SITE DESCRIPTION

The applicant proposes to remodel the northern portion of the existing +/-7,000 sq. ft. building at 28557 Woodward for a marihuana provisioning center. The other tenant in the building, State Farm, will remain in the southern portion of the building. The applicant proposes façade changes to both the new suite and State Farm to make the façades consistent. A parking lot is located on a separate parcel just west of the building.

Other than façade improvements there are no proposed changes or enlargement to the existing building.

Site improvements include:

- Plaza with permeable pavers
- Benches and planters along Woodward
- Benches along Wiltshire
- Permeable pavers in parking lot
- Landscaped rain garden
- Site landscaping improvements
- Corner mural wall
- Bike racks and repair station
- Quality architecture improvements
- Green stormwater management in the form of a bioswale
- Roof amenities:
 - Stormwater runoff water collection
 - Green roof

The properties are zoned Woodward District and Parking District. Marijuana provisioning centers are permitted uses in the Woodward District but must meet the zoning requirements in Section 138-528 Marijuana Business Regulations.

Site Location:



Proposed Use of Subject Parcel:

2,384 usable sq. ft. building for marihuana provisioning use and 914 usable sq. ft. for State Farm office.

Surrounding Property Details:

Direction	Zoning	Use
North	Woodward District	Bank
South	Woodward District	Commercial
East	Woodward Avenue	Commercial
West	Multiple Family/ Single Family District	Parking / Single Family

Items to be addressed: None

NATURAL FEATURES

The site has been graded for a building and parking lot. There are no existing natural resources.

BUILDING ARRANGEMENT AND SITE DESIGN

The site and building layout will remain in its current configuration. The square foot arrangement of the building is as follows:

Suite	Tenant/Use	Useable Square Footage
Suite 1	Seven Points	2,384
Suite 2	State Farm	914
Total		3,298

Items to be addressed: None

AREA, WIDTH, HEIGHT, SETBACKS

The applicant does not propose any changes to the existing building.

Items to be addressed: None

PARKING

The applicant has provided a parking table on Sheet C102. This is a multiple tenant building. The parking required is a total of all uses combined in the building:

	Required	Provided
Seven Points (Retail) 1 space per 225 usable square feet	2,384 usable sq. ft. / 225 = 11 spaces	16 spaces
Insurance Office 1 per 300 usable square feet	914 usable sq. ft. / 300 = 3 spaces	
Barrier Free	1	1
Total	14 spaces	16 spaces

The applicant has provided sufficient parking.

Items to be Addressed: None

SITE ACCESS AND CIRCULATION

Site access and circulation remain as currently situated. There is access and three parking spaces off Woodward and access to the parking lot is via the alley.

Items to be Addressed: None

LANDSCAPING

A landscaping plan has been provided on sheet L101. The applicant proposes robust landscaping improvements including:

- Green roof
- Parking lot landscaping
- Street trees
- Planter boxes along Woodward
- Rain garden along Wiltshire



As set forth in Section 130-37, when the development of any property requiring site plan approval occurs, the City Planning Commission shall review landscaping plans and may require additional landscaping to be planted on or near the site consistent with the elements of the adopted city master plan.

Trash Enclosure:

The applicant proposes a dumpster in the parking. The dumpster will be screened with a wood gate and masonry walls.

Items to be Addressed: Planning Commission to review landscaping

SITE AMENITIES

The applicant is proposing a number of site amenities including:

- Plaza with permeable pavers
- Benches and planters along Woodward
- Benches along Wiltshire
- Permeable pavers in parking lot
- Landscaped rain garden
- Site landscaping improvements
- Bike racks and repair station
- Corner mural wall
- Quality architecture improvements
- Green stormwater management in the form of a bioswale
- Roof amenities:
 - Stormwater runoff water collection
 - Green roof

Items to be Addressed: None

PHOTOMETRICS

The applicant is proposing three (3) pole mounted lights in the parking lot and three (3) building mounted lights. Due to the proximity of the adjacent single-family home, the pole height was reduced 12-feet.

Items to be Addressed: None

EXTERIOR APPLIANCES

The applicant proposes a parapet to screen the roof top equipment. Applicant has note on plans that parapet is high enough to screen exterior appliances (air conditioners, generators, etc.) to ensure compliance with Sec. 138-73.

Items to be Addressed: None

FLOOR PLAN AND ELEVATIONS

Floor plans and elevations have been provided. The applicant is making significant elevation improvements to the existing building including “eco-stucco,” storefront glass, steel canopy, and bamboo siding. The primary color is black and natural wood.

Items to be Addressed: None

MARIHUANA BUSINESS REGULATIONS

Section 138-528 Marihuana Business Regulations, the site plan shall be reviewed and approved by the Planning Commission upon finding that:

- a) **A marihuana business must front on a major thoroughfare with the primary ingress/egress onto a major thoroughfare.**

CWA Response: The marihuana business fronts on Woodward, with ingress/egress onto a major thoroughfare.

- b) **The marihuana business must have all applicable state and local licenses and approvals to operate.**

CWA Response: The marihuana business will be required to obtain all applicable state license prior to any final approvals.

- c) **The property where the marihuana business will be located must be entirely within the boundaries of the city and must not be within 1,000 feet of a pre-existing public or private school providing education in kindergarten or any of grades 1 through 12.**

CWA Response: The marihuana business will not be located with 1,000 feet of any pre-existing public or private school.

- d) **Notwithstanding any other provision in the zoning ordinance, a marihuana business must operate within a fully enclosed building.**

CWA Response: The marihuana business will operation within a fully enclosed building.

- e) Pursuant to Article XV of Chapter 30 of the Berkley City Code, all marihuana business license approvals are subject to the following:
 - i. Public notice requirements as outlined in Section 30-806; and
 - ii. Site plan approval from the planning commission must be obtained prior to receiving license approval from the city council. Failure to do so will result in license denial as outlined in Section 30-813.

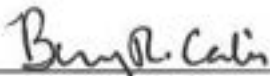
CWA Response: 1). Public notice requirements are expected to be met; and 2). The applicant is seeking site plan approval from the Planning Commission. If granted site plan approval, the applicant would then seek license approval from the City Council.

Items to be Addressed: None


RECOMMENDATION

Overall, the applicant is making a significant investment into the site as noted in our report. We recommend preliminary site plan approval.

Sincerely,



CARLISLE/WORTMAN ASSOC., INC.
Benjamin R. Carlisle, LEED AP, AICP



CARLISLE/WORTMAN ASSOC., INC.
Megan Masson-Minock, AICP
Senior Associate

October 3, 2022 City Council Meeting

Moved by Councilmember _____ and seconded by Councilmember _____ to approve marihuana adult use retailer business license #PMA20-0003 for Operation Grow, LLC/dba Butter, at 2222 W. Eleven Mile Road. The applicant was previously approved on July 18, 2022 for a medical marihuana provisioning center business license at the same location.

Ayes:

Nays:

Motion:



MEMORANDUM

To: Mayor Terbrack and City Council
From: Matthew Baumgarten, City Manager
Date: June 20, 2022
Subject: Adult Use Approval of Butter for Marijuana Business License

Operation Grow dba Butter (Application# [PMA20-0003](#)) has successfully completed the City's process for obtaining a marijuana business license as outline by [Article XV. - Marihuana Businesses](#). Their license was approved by City Council at the July 18, 2022 regular meeting. This approval allowed Butter to operate as a medical marijuana dispensary while they work through the state's process for qualification as an adult use retailer.

In June of 2020, when Butter was filling its initial application with Berkley for a Marijuana business license, Michigan law only allowed those entities operating an existing Medical Marihuana facility to receive Adult Use licenses. In 2019, when our ordinance was written, the City anticipated requests such as these and included [Sec. 30-808](#) which provides for Marihuana facility co-location and stacking. In short, stacking allows a single operator to offer customers both medical and adult-use marijuana provided approvals obtained from both the State of Michigan and the City of Berkley. The text of Sec. 30-808 reads as such, "Separate marihuana business uses, under common ownership, and with proper licensing issued by LARA for each use, shall be permitted to operate at the same location with license approval from city. Co-locating establishments must have license approval for each marihuana business type and use."

Since their initial application to the City of Berkley, Butter has now obtained its prequalification for Adult Use from the State of Michigan and has met Berkley's application requirements to request adult use retail license at the Property. Co-locating and stacking will have no effect on site plan approval and can appear directly before the City Council for consideration and approval.

I am recommending that City Council consider approval of an adult-use license for Operation Grow dba Butter operating at 2222 Eleven Mile.

Thank you for your time and consideration on this matter,

Matthew Baumgarten
Berkley City Manager

October 3, 2022 City Council Meeting

Moved by Councilmember _____ and seconded by Councilmember _____ to authorize Hubbell, Roth & Clark (HRC) for professional design and engineering services related to the Wiltshire Road Improvement and Water Main Replacement Project at a cost not to exceed \$176,621.02. Funding has been allocated in the Road Millage and Water Service accounts 313-938-821-000 and 592-536-821-000.

Ayes:

Nays:

Motion:



Transmittal Memo

To: Matthew Baumgarten, City Manager
Cc: Mark Pollock, Finance Director
From: Shawn Young, DPW Director 
Date: September 27th, 2022
Subject: Wiltshire Road and Water Main Improvement Project (Woodward to Coolidge) Approval of Design Services

Since the passing of the Berkley Infrastructure Millage in 2018 the City of Berkley has been generating approximately \$1 million each year for infrastructure improvements. During the first two years (2020 & 2021) we chose to use this revenue on Citywide concrete road repairs. This citywide program addressed roughly 200 locations throughout the city. Year three (2022) we chose to combine both mileage revenue along with Water funds to complete a ½ mile of road and water main replacement on Kenmore/Cornwall.

For 2023 we are looking to once again combine Millage Revenue and Water Funds to potentially address the needs of Wiltshire Road from Coolidge to Woodward.

This project would have two very distinct scopes that could be awarded independently based on cost:

1. Woodward to Mortenson: Complete Road and Water Main/service Removal and Replacement
2. Mortenson to Coolidge: Mill and overlay of the existing pavement along with minor curb and driveway replacement, as required. Existing water main and services to remain.

Selection of this street was a combined effort considering road Condition (Paser Ranking), existing water main condition including water main break history, and third party utilizes. Depending on the section Wiltshire Road is rated both a 2 and a 3 on the Paser ranking scale with five recent Water Main Breaks between Mortenson and Woodward. The section of Wiltshire from Coolidge to Mortenson does not have any recent Water Main Breaks noted.

Please find the attached Engineering proposal for this project. Professional services included with this proposal include several items such as communication and engagement, pavement cores and soil borings, topographic survey, coordination with third-party utilities, preparation of construction plans/specifications, and permitting/public bidding.

Contingent upon approval final plans would be complete in January 2023 with public bidding to follow up in February 2023. Final Construction would tentatively be scheduled to start in the spring of 2023. We recommend approval of the attached design proposal in the amount not to exceed \$176,621.02. Design funds have been allocated in the current fiscal year under account 313-938-821-000 (Infrastructure Millage-Engineering) and 592-536-821-000 (Water and Sewer Service-Engineering)

Please feel free to contact me with any questions or concerns.



MAILING: PO Box 824
Bloomfield Hills, MI 48303-0824
SHIPPING: 555 Hulet Drive
Bloomfield Hills, MI 48302-0360
PHONE: 248-454-6300
WEBSITE: hrcengr.com

September 14, 2022

City of Berkley
3338 Coolidge Highway
Berkley, Michigan 48072

Attn: Mr. Matthew Baumgarten, City Manager
Mr. Shawn Young, Director of Public Works

Re: Proposal for **Design Engineering Services**
Wilshire Road Water Main Replacement and Road Reconstruction
(Woodward to Coolidge Highway)

HRC Job No. 20220797

Dear Mr. Baumgarten and Mr. Young:

Thank you for the opportunity to allow Hubbell, Roth & Clark, Inc. (HRC) to submit this proposal for professional design engineering services. We understand that the City wishes to move forward with the next phase of the Infrastructure Millage program. For the 2023 construction year, the City desires to complete a road reconstruction and water main replacement project similar in size and scope to the 2017 Harvard and 2022 Kenmore/Cornwall Reconstruction projects.

Berkley Public Works and HRC staff(s) have been closely working together to identify candidates for the next significant road/watermain reconstruction project. In August 2022, HRC completed a PASER roadway rating survey for all City owned roadways. Utilizing this PASER Rating data along with watermain age/break information, we developed the attached Figure A which identifies 5 of the highest priority roadway sections. Each segment is approximately 0.5 mile in length (similar to the Harvard & Kenmore/Cornwall projects). Additionally, City staff worked with Consumers Energy to gather information about future gas main replacement projects.

The section of Wiltshire Road between Woodward and Coolidge roads has been identified, by the above factors, as the highest priority candidate. It should be noted that this section had a high amount of water main breaks over the last 5 years and has a 2022 PASER rating of 2. The PASER system rates the condition of a roadway from 1 (failed) to 10 (excellent). This section of Coolidge is regularly used as an east-west thoroughfare connecting Woodward and Coolidge.

The Wilshire Road Reconstruction Project will include two (2) types of project scopes:

1. Woodward to Mortenson: Removal and replacement of the entire deteriorated asphalt over concrete pavement with a robust asphalt pavement section and the complete replacement of the aged water main.
2. Mortenson to Coolidge: Mill and overlay of the existing pavement (depth to be determined following pavement core extraction) and variable amount of curb and driveway replacement, as required.

Scope of Proposed Construction:

Due to budgetary constraints, this project consists of two (2) types of project scopes:

1. Woodward to Mortenson: The proposed scope of work entails the complete removal and replacement of existing pavement, curbs, driveway approaches and sidewalks and replacement of the existing water

Delhi Township 2101 Aurelius Rd. Suite 2A Holt, MI 48842 517-694-7760	Detroit 535 Griswold St. Buhl Building, Ste 1650 Detroit, MI 48226 313-965-3330	Grand Rapids 1925 Breton Road SE Suite 100 Grand Rapids, MI 49506 616-454-4286	Howell 105 W. Grand River Howell, MI 48843 517-552-9199	Jackson 401 S. Mechanic St. Suite B Jackson, MI 49201 517-292-1295	Kalamazoo 834 King Highway Suite 107 Kalamazoo, MI 49001 269-665-2005	Lansing 215 S. Washington SQ Suite D Lansing, MI 48933 517-292-1488
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main. All Right-of-Way trees will be evaluated by the City's arborist, and any trees with health concerns or conflicts with the proposed construction will be removed and replaced with new trees following construction. Improvements include new concrete curbs, aggregate base, HMA pavement, storm drainage cover adjustments, concrete driveway approaches, concrete sidewalks, ADA ramp and new landscaping. The existing water main will be abandoned in place and new 8" water main will be installed along with new public water services and stop boxes. Existing water services and hydrants will be connected to the new 8" water main. Any private lead water service lines that are encountered will be replaced. The Wiltshire corridor will be investigated for the possibility of incorporating a green infrastructure feature. Additionally, HRC will evaluate the possibility of decreasing the width of the Roadway. The approximate length of this portion of the project is 1,800 lft.

2. Mortenson to Coolidge: The proposed scope of work entails the removal of a minimum of 2" of asphalt pavement by machine milling and replacement of a minimum of 2" of asphalt pavement. The proposed depth of milling/scope of pavement rehabilitation will be finalized once the pavement cores are obtained and analyzed during the design phase. This method of reconstruction is commonly called a "mill and fill" project. We understand the City would like to establish more reveal on the existing curbs and thus are recommending either a variable/profile mill and overlay or a deep mill and thin overlay (i.e., 4" mill and 2" overlay, etc.). Repairs to driveway approaches will be completed as necessary to provide for appropriate drainage. The ADA sidewalk ramps at Henley and Berkley will be reconstructed to meet current standards. The approximate length of this portion of the project is 2,300 lft.

Preliminary cost estimates for both project scopes are attached to this Proposal letter.

Scope of Design Engineering Services:

1. Notify/coordinate this project with Utility Agencies to assist in avoiding future conflicts.
2. Pavement and sub-base investigation will be completed utilizing pavement cores and hand augers. This will help determine the existing pavement cross section and to evaluate the general condition of the pavement and subbase. HRC will provide the City a written report with findings and recommendations.
3. Complete a topographic survey of the proposed section of Wiltshire will be completed to collect field data on the existing road, utilities, and topographic information necessary to prepare construction drawings. City DPW staff will locate and mark stop boxes prior to the topo survey.
4. Assist City staff with the planned public engagement effort, including flyer creation and distribution and attendance two (2) on-site meetings with residents, etc.
 - a. HRC suggests conducting the initial public engagement event in late October 2022 prior to the completion of the 60% design plans. This early engagement will allow residents to express their thoughts prior to the final design being completed.
5. Prepare preliminary Construction Documents and Cost Estimates at the 60%, 90% and Final completion levels and provide them to the City for review.
6. Conduct Design Coordination Meetings at the beginning of the project and at the 60% and 90% Construction Document Completion Stages.

7. Prepare permit applications for EGLE Water Supply (Act 399), Oakland County Soil Erosion Control, Drain and Tap Permits, RCOC ROW and Michigan Department of Transportation (MDOT) permits (as required).
8. HRC will prepare and provide Final Plans, Specifications, Engineer’s Estimate and Bid Documents and assist with advertising for bidding.
9. HRC will assist in the bidding process, make recommendation of award and prepare the Contract Documents for execution by the selected Contractor.

Schedule:

September 19, 2022	City Council Authorizes HRC to proceed with project
Mid-October 2022	Complete topographic survey and soils investigation
Late-October 2022	Initial Public Engagement Meeting
Late-November 2022	60% Design Review Meeting
Mid-November 2022	Second Public Engagement Meeting
Late-December 2022	90% Design Review Meeting
Early-January 2022	Final Review Meeting
Early -February 2023	Final Bid Documents Delivered
February 2023	Project Let for Bidding
Late-March 2023	Award of Project to Lowest Responsible Bidder

Clarifications:

1. Construction Engineering services are not included in this proposal and will be outlined after the bid opening. HRC will provide an additional proposal to include construction engineering, construction administration, survey layout, materials testing, progress meetings, record drawing preparation, and full-time construction observation.
2. Grading easement acquisition services are not included in this proposal but can be provided on a time and material basis if needed.

Design Engineering Fees (See detailed breakdown of costs attached):

Task 1 – Pavement Cores, Soil Borings and Subgrade Investigation	\$ 9,326.98
Task 2 – Topographic Survey	\$ 20,797.64
Task 3 – Completion of Design and Bid Documents	\$ 109,463.40
Task 4 – Public Engagement	\$ 12,113.88
Task 5 – Bidding Assistance	\$ 2,806.04
Task 6 – Project Management and Meetings	<u>\$ 22,113.08</u>
Total Not-to-Exceed Fee	\$ 176,621.02

Fees will be invoiced monthly and shall be based on our cost times a 2.9 multiplier in accordance with our current agreement with the City.

If this proposal is deemed acceptable to the City, please sign and return one copy to this office. Thank you for this exciting opportunity to serve the City on this project. If you have any questions or require any additional information, please feel free to contact our office at 248-454-6300.

Very truly yours,

Accepted By:

HUBBELL, ROTH & CLARK, INC.

City of Berkley



Roland N. Alix, P.E.
Vice President

Signature: _____



Edward Zmich
Project Manager

Written Name: _____

Title: _____

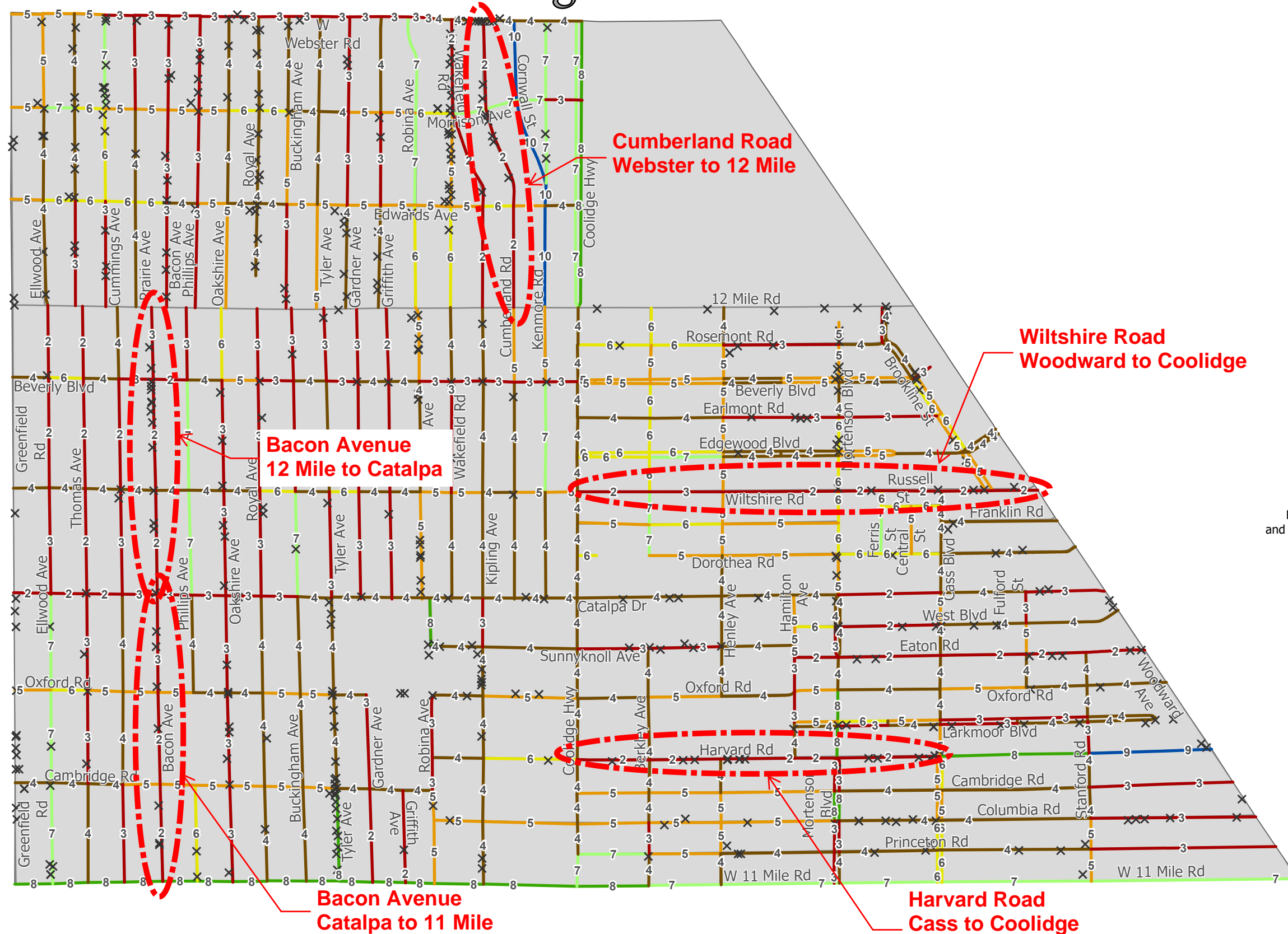
Date: _____

Cc: HRC; M. Stark, Business Office, File

Attachments: 2022 PASER Rating & WM Break Location Map
Preliminary Cost Estimate Wiltshire Road Reconstruction and Water Main Replacement
Detailed breakdown of HRC Fees

City of Berkeley

2022 PASER Rating and Watermain Break Locations



Legend

- X Water Main Breaks (From 1989 - Present)

2022 PASER Rating

- 9 - 10
- 8
- 7
- 6
- 5
- 4
- 1 - 3

- City of Berkeley
- County or State Roads (unrated)

Note: Ratings for Webster, Catalpa, 11 Mile, and Coolidge are provided by SEMCOG (from 2021)

Path: N:\Masters\GIS\municipal\Berkeley\Road_data\PASER\PASER.aprx



555 Hulet Dr., Bloomfield Hills, MI 48302 ph. (248) 454-6300

PROJECT: Wiltshire Road Water Main and Pavement Replacement Project

ENGINEER'S OPINION OF PROBABLE CONSTRUCTION COST

		DATE:	<u>9/14/2022</u>
<u>LOCATION: Wiltshire Road (Woodward to Coolidge)</u>		PROJECT NO.	<u>20220796</u>
BASIS FOR ESTIMATE <input checked="" type="checkbox"/> PRELIMINARY <input type="checkbox"/> FINAL		ESTIMATOR:	<u>mas</u>
WORK:		CHECKED BY:	<u>edz</u>
<p>Project includes two (2) divisions of work on Wiltshire Road. Division I, from Woodward to Mortenson, includes complete removal and replacement of existing water main, misc. storm sewer and drainage structures, pavement, curbs, driveway approaches and sidewalks in the City right-of-way. Division II, from Mortenson to Coolidge, includes milling and placement of a new HMA surface with variable curb and driveway replacements as needed.</p>			

DIVISION I - WILTSHIRE RD (WOODWARD TO MORTENSON)

	Description	Quantity	Unit	Unit Price	Total Cost
1	Mobilization (Max. 5%)	1	Lsum	\$ 89,000.00	\$ 89,000.00
2	Erosion Control, Inlet Protection, Fabric Drop	16	Ea	\$ 120.00	\$ 1,920.00
3	Tree Protection Fence	1,296	Lft	\$ 4.00	\$ 5,184.00
4	Exploratory Excavation & Utility Location	1	Lsum	\$ 10,000.00	\$ 10,000.00
5	Traffic Maintenance, Incl. Flag Control	1	Lsum	\$ 40,000.00	\$ 40,000.00
6	Color Audio-Video Route Survey	1	Lsum	\$ 5,000.00	\$ 5,000.00
7	Pavt, Rem, MOD	5,360	Syd	\$ 15.00	\$ 80,400.00
8	Curb, Rem	3,510	Lft	\$ 15.00	\$ 52,650.00
9	Driveway, Rem	520	Syd	\$ 10.00	\$ 5,200.00
10	Sidewalk, Rem	1,760	Syd	\$ 10.00	\$ 17,600.00
11	Dr Structure, Rem	16	Ea	\$ 800.00	\$ 12,800.00
12	Storm Sewer, Rem	170	Lft	\$ 30.00	\$ 5,100.00
13	Tree, Rem, 19-inch to 36-inch	5	Ea	\$ 2,500.00	\$ 12,500.00
14	Station Grading, MOD	18.2	Sta	\$ 3,000.00	\$ 54,600.00
15	Subgrade Undercutting, Type 1, MOD	540	Cyd	\$ 50.00	\$ 27,000.00
16	Maintenance Gravel, 21AA	1,200	Ton	\$ 30.00	\$ 36,000.00
17	Aggregate Base, MDOT 4G, 12-inch	3,010	Ton	\$ 35.00	\$ 105,350.00
18	Mirafi 600X Geotextile Fabric	5,360	Syd	\$ 2.00	\$ 10,720.00
19	Tensar TX160 Geogrid	5,360	Syd	\$ 6.00	\$ 32,160.00
20	Void Reducing Asphalt Membrane (Spray, J-Band Type)	1,820	Lft	\$ 5.00	\$ 9,100.00
21	2-inch MDOT 13A, MOD Mix (Wearing)	580	Ton	\$ 110.00	\$ 63,800.00
22	2.5-inch MDOT 3C, MOD Mix (Leveling/Base)	730	Ton	\$ 105.00	\$ 76,650.00
23	Concrete Pavement w/ Integral Curb & Gutter, 8-inch (incl. agg base)	350	Syd	\$ 95.00	\$ 33,250.00
24	Driveway, Nonreinf Conc, 6-inch (incl. sand base)	520	Syd	\$ 55.00	\$ 28,600.00
25	Curb, Conc, MDOT Det F4	3,510	Lft	\$ 25.00	\$ 87,750.00
26	Sidewalk, Conc, 4-inch, Special (incl. sand base)	14,800	Sft	\$ 7.00	\$ 103,600.00
27	Sidewalk, Conc, 6-inch, Special (incl. sand base)	875	Sft	\$ 8.00	\$ 7,000.00
28	Detectable Warning Surface (5-foot x 2-foot)	14	Ea	\$ 400.00	\$ 5,600.00
29	Underdrain, Subgrade, 6-inch, Special	3,510	Lft	\$ 18.00	\$ 63,180.00
30	12-inch C76 CL-IV Sewer, Tr. Det "B"	170	Lft	\$ 100.00	\$ 17,000.00
31	4-foot Diameter Manhole	5	Ea	\$ 3,500.00	\$ 17,500.00
32	2-foot Diameter Catch Basin	11	Ea	\$ 2,500.00	\$ 27,500.00

33	Drainage Structure Tap, 12-inch	6	Ea	\$ 750.00	\$ 4,500.00
34	Dr Structure Frame & Cover, EJ 1040	5	Ea	\$ 800.00	\$ 4,000.00
35	Dr Structure Frame & Cover, EJ 5000	11	Ea	\$ 800.00	\$ 8,800.00
36	Dr Structure Cover, Adjust	20	Ea	\$ 600.00	\$ 12,000.00
37	Sanitary Sewer Lead Repair (if needed)	8	Ea	\$ 750.00	\$ 6,000.00
38	Hydrant Assembly, Rem	3	Ea	\$ 650.00	\$ 1,950.00
39	Gate Valve and Well, Rem	5	Ea	\$ 750.00	\$ 3,750.00
40	Water Main, 6-inch, Rem	50	Lft	\$ 30.00	\$ 1,500.00
41	Abandon 6-inch Water Main in Place & Grout	1,400	Lft	\$ 4.00	\$ 5,600.00
42	Abandon 12-inch Water Main in Place & Grout	400	Lft	\$ 7.00	\$ 2,800.00
43	Water Main, 6-inch, Cut & Plug	6	Ea	\$ 1,000.00	\$ 6,000.00
44	Water Main, 12-inch, Cut & Plug	4	Ea	\$ 2,000.00	\$ 8,000.00
45	Water Main Break Repair (12-inch & Less) (if needed)	1	Ea	\$ 3,000.00	\$ 3,000.00
46	Water Main, 8-inch Dia., CL 54 DI, Open Cut	1,800	Lft	\$ 185.00	\$ 333,000.00
47	Water Main Connection, 6-inch	1	Ea	\$ 5,000.00	\$ 5,000.00
48	Water Main Connection, 8-inch	2	Ea	\$ 5,500.00	\$ 11,000.00
49	Water Main Connection, 12-inch	1	Ea	\$ 6,500.00	\$ 6,500.00
50	Gate Valve & Well, 8-inch	5	Ea	\$ 6,000.00	\$ 30,000.00
51	Water Structure Cover, EJIW No. 1040	5	Ea	\$ 750.00	\$ 3,750.00
52	Short Water Service Lead to New Main, Polyethylene, 1-inch, Open Cut	12	Ea	\$ 1,500.00	\$ 18,000.00
53	Long Water Service Lead to New Main, Polyethylene, 1-inch, Directional Drill	15	Ea	\$ 2,000.00	\$ 30,000.00
54	Lead Line Water Service Replacement (Private) (if needed)	5	Ea	\$ 5,000.00	\$ 25,000.00
55	Water Service Stop Box	27	Ea	\$ 500.00	\$ 13,500.00
56	Hydrant Assembly, 5BR250 Model	4	Ea	\$ 8,500.00	\$ 34,000.00
57	4-inch Topsoil	4,050	Syd	\$ 5.00	\$ 20,250.00
58	Sodding (incl. 14-day watering)	4,050	Syd	\$ 10.00	\$ 40,500.00
59	Permit Allowance	1	Dlr	\$ 7,000.00	\$ 7,000.00
60	Observation Crew Days	120	Day	\$ 760.00	\$ 91,200.00
Subtotal - Division I					\$ 1,880,314.00

DIVISION II - WILTSHIRE RD (MORTENSON TO COOLIDGE)

	Description	Quantity	Unit	Unit Price	Total Cost
1	Mobilization (Max. 5%)	1	Lsum	\$ 20,000.00	\$ 20,000.00
2	Erosion Control, Inlet Protection, Fabric Drop	25	Ea	\$ 120.00	\$ 3,000.00
5	Traffic Maintenance, Incl. Flag Control	1	Lsum	\$ 15,000.00	\$ 15,000.00
6	Color Audio-Video Route Survey	1	Lsum	\$ 5,000.00	\$ 5,000.00
7	Cold Milling, HMA Surface, 4 inch	6,140	Syd	\$ 6.00	\$ 36,840.00
8	Curb, Rem	2,250	Lft	\$ 15.00	\$ 33,750.00
9	Driveway, Rem	630	Syd	\$ 10.00	\$ 6,300.00
10	Sidewalk, Rem	60	Syd	\$ 10.00	\$ 600.00
11	Subgrade Undercutting, Type 1, MOD	930	Cyd	\$ 50.00	\$ 46,500.00
12	Hand Patching, HMA	50	Ton	\$ 250.00	\$ 12,500.00
13	Void Reducing Asphalt Membrane (Spray, J-Band Type)	2,247	Lft	\$ 5.00	\$ 11,235.00
14	2-inch MDOT 13A, MOD Mix (Wearing)	710	Ton	\$ 110.00	\$ 78,100.00
15	Driveway, Nonreinf Conc, 6-inch (incl. sand base)	630	Syd	\$ 55.00	\$ 34,650.00
16	Curb, Conc, MDOT Det F4	2,250	Lft	\$ 25.00	\$ 56,250.00
17	Sidewalk, Conc, 4-inch, Special (incl. sand base)	100	Sft	\$ 7.00	\$ 700.00
18	Sidewalk, Conc, 6-inch, Special (incl. sand base)	400	Sft	\$ 8.00	\$ 3,200.00
19	Detectable Warning Surface (5-foot x 2-foot)	8	Ea	\$ 400.00	\$ 3,200.00
20	4-inch Topsoil	1,000	Syd	\$ 5.00	\$ 5,000.00
21	Sodding (incl. 14-day watering)	1,000	Syd	\$ 10.00	\$ 10,000.00
22	Pavt Mrkg, Ovly Cold Plastic, 24-inch Stop Bar	12	Lft	\$ 15.00	\$ 180.00

23	Pavt Mrkg, Ovly Cold Plastic, 8-inch Crosswalk	56	Lft	\$ 15.00	\$ 840.00
24	Observation Crew Days	50	Day	\$ 760.00	\$ 38,000.00
Subtotal - Division II					\$ 420,845.00
Subtotal - Construction Cost					\$ 2,301,159.00
Contingencies (15%)					\$ 345,174.00
Subtotal - Construction Cost w/ Contingencies					\$ 2,646,333.00
TOTAL CONSTRUCTION BUDGET - WILTSHIRE ROAD					\$ 2,646,333.00

PROJECT FEE/MANHOURLY TABLE

JOB NUMBER: **20220797**
 PROJECT NAME: **Wilshire Road & WM Reconstruct**
 PRINCIPAL: **Roland Alix**
 PROJECT MANAGER: **Eddie Zmich**
 DATE: **September 14, 2022**

TASK	HRC STAFF POSITION																TOTAL					
	PRINCIPAL		MANAGER		GRADUATE ENGINEER		SENIOR CONSTRUCTION SUPERVISOR		ASSOCIATE		DESIGNER		TESTING TECHNICIAN		SR. SURVEY OFFICE TECH		SURVEY PARTY CHIEF		HRS	FEE		
	RATE \$	145.00	RATE \$	144.13	RATE \$	101.50	RATE \$	124.41	RATE \$	153.41	RATE \$	123.25	RATE \$	81.20	RATE \$	108.17	RATE \$	116.00				
1 Pavement Cores and Subgrade Investigation																						
Pavement Cores													32	\$2,598.40							32	\$2,598.40
Coordination, Evaluation of Data & Report of Findings			6	\$864.78	6	\$609.00	4	\$497.64	6	\$920.46	4	\$493.00									26	\$3,384.88
Development of Pavement Cross Section			6	\$864.78	8	\$812.00	6	\$746.46	6	\$920.46											26	\$3,343.70
																						\$9,326.98
2 Topographic Survey																						
Field Topographic Survey																			100	\$10,817.00	100	\$10,817.00
Office Work & Coordination			12	\$1,729.56	12	\$1,218.00			8	\$1,227.28	12	\$1,479.00			40	\$4,326.80					84	\$9,980.64
																						\$20,797.64
3 Completion of Design and Bid Documents																						
Utility Coordination			2	\$288.26	4	\$406.00															6	\$694.26
60% Design Documents			72	\$10,377.36	200	\$20,300.00					120	\$14,790.00									392	\$45,467.36
90% Design Documents			40	\$5,765.20	80	\$8,120.00					60	\$7,395.00									180	\$21,280.20
Final Bid Documents			20	\$2,882.60	56	\$5,684.00					40	\$4,930.00									116	\$13,496.60
Specifications (Full Reconstruction Section)			40	\$5,765.20	60	\$6,090.00			8	\$1,227.28											108	\$13,082.48
Bid Documents (Mill and Fill Section)			10	\$1,441.30	16	\$1,624.00					40	\$4,930.00									66	\$7,995.30
Specifications (Mill and Fill Section)			10	\$1,441.30	12	\$1,218.00															22	\$2,659.30
Submit Dwg for EGLE, OCWRC & RCOC Permits			4	\$576.52	12	\$1,218.00															16	\$1,794.52
QA/QC	4	\$580.00					12	\$1,492.92	6	\$920.46											22	\$2,993.38
																						\$109,463.40
4 Public Engagement																						
"Upcoming Construction" Flyer Creation & Distribution			4	\$576.52	40	\$4,060.00															44	\$4,636.52
Two (2) On-Site Meetings with Residents incl. Prep	8	\$1,160.00	16	\$2,306.08	20	\$2,030.00	8	\$995.28			8	\$986.00									60	\$7,477.36
																						\$12,113.88
5 Bidding Assistance																						
Pre-Bid Meeting	2	\$290.00	2	\$288.26	4	\$406.00															8	\$984.26
Questions During Bidding			2	\$288.26	4	\$406.00															6	\$694.26
Addendum			2	\$288.26	2	\$203.00															4	\$491.26
Bid Tab & Recommendations	1	\$145.00	2	\$288.26	2	\$203.00															5	\$636.26
																						\$2,806.04
6 Project Management and Meetings																						
Administration	16	\$2,320.00	48	\$6,918.24																	64	\$9,238.24
Engineering Award Council Meeting	2	\$290.00	2	\$288.26																	4	\$578.26
Initial Kickoff Meeting	4	\$580.00	4	\$576.52	4	\$406.00	4	\$497.64													16	\$2,060.16
60% & 90% Design Review Mtgs	4	\$580.00	8	\$1,153.04	8	\$812.00															20	\$2,545.04
60%, 90% & Final Cost Estimates			20	\$2,882.60	20	\$2,030.00															40	\$4,912.60
Finalize Docs & Prepare Bid Package			4	\$576.52	16	\$1,624.00															20	\$2,200.52
Construction Award Council Meeting	2	\$290.00	2	\$288.26																	4	\$578.26
																						\$22,113.08
TOTAL NOT-TO-EXCEED DESIGN ENG. FEE	43	\$6,235.00	338	\$48,715.94	586	\$59,479.00	34	\$4,229.94	34	\$5,215.94	284	\$35,003.00	32	\$2,598.40	40	\$4,326.80	100	\$10,817.00	1,491	\$176,621.02		

City of Berkley

2022 PASER Rating and Watermain Break Locations



Legend

- X Water Main Breaks (From 1989 - Present)
- 2022 PASER Rating
 - 9 - 10
 - 8
 - 7
 - 6
 - 5
 - 4
 - 1 - 3
- City of Berkley
- County or State Roads (unmarked)

Note: Ratings for Webster Catalog, 11 Mile, and Coolidge are provided by SEMCOG (from 2021)

October 3, 2022 City Council Meeting

Moved by Councilmember _____ and seconded by Councilmember _____ to adopt the MDOT Performance Resolution as part of an MDOT Annual Right Of Way Permit.

Ayes:

Nays:


Motion:



CITY OF BERKLEY
DEPARTMENT OF PUBLIC WORKS

3238 BACON AVE, BERKLEY, MICHIGAN 48072

Transmittal Memo

To: Matthew Baumgarten, City Manager
Cc: Mark Pollock, Finance Director
From: Shawn Young, DPW Director 
Date: September 27th, 2022
Subject: Adoption of MDOT Performance Resolution

As part of our annual MDOT Right of Way Permit we are required to adopt the MDOT Performance Resolution. The MDOT Annual Right of Way Permit allows us to perform repairs on any City of Berkley owned utility located within and MDOT owned road located in Berkley. Currently Woodward Ave is the only road that falls in this category.

A previous version of resolution was last approved in 2010.

Please feel free to contact me with any questions or concerns.

PERFORMANCE RESOLUTION FOR MUNICIPALITIES

This Performance Resolution (Resolution) is required by the Michigan Department of Transportation for purposes of issuing to a Municipality an "Individual Permit for Use of State Highway Right of Way", and/or an "Annual Application and Permit for Miscellaneous Operations within State Highway Right of Way".

RESOLVED WHEREAS, the _____
(County, City, Village, Township, etc.)

hereinafter referred to as the "MUNICIPALITY," periodically applies to the Michigan Department of Transportation, hereinafter referred to as the "DEPARTMENT," for permits, referred to as "PERMIT," to construct, operate, use and/or maintain utilities or other facilities, or to conduct other activities, on, over, and under State Highway Right of Way at various locations within and adjacent to its corporate limits;

NOW THEREFORE, in consideration of the DEPARTMENT granting such PERMIT, the MUNICIPALITY agrees that:

1. Each party to this *Resolution* shall remain responsible for any claims arising out of their own acts and/or omissions during the performance of this *Resolution*, as provided by law. This *Resolution* is not intended to increase either party's liability for, or immunity from, tort claims, nor shall it be interpreted, as giving either party hereto a right of indemnification, either by Agreement or at law, for claims arising out of the performance of this Agreement.
2. If any of the work performed for the MUNICIPALITY is performed by a contractor, the MUNICIPALITY shall require its contractor to hold harmless, indemnify and defend in litigation, the State of Michigan, the DEPARTMENT and their agents and employee's, against any claims for damages to public or private property and for injuries to person arising out of the performance of the work, except for claims that result from the sole negligence or willful acts of the DEPARTMENT, until the contractor achieves final acceptance of the MUNICIPALITY Failure of the MUNICIPALITY to require its contractor to indemnify the DEPARTMENT, as set forth above, shall be considered a breach of its duties to the DEPARTMENT.
3. Any work performed for the MUNICIPALITY by a contractor or subcontractor will be solely as a contractor for the MUNICIPALITY and not as a contractor or agent of the DEPARTMENT. The DEPARTMENT shall not be subject to any obligations or liabilities by vendors and contractors of the MUNICIPALITY, or their subcontractors or any other person not a party to the PERMIT without the DEPARTMENT'S specific prior written consent and notwithstanding the issuance of the PERMIT. Any claims by any contractor or subcontractor will be the sole responsibility of the MUNICIPALITY.
4. The MUNICIPALITY shall take no unlawful action or conduct, which arises either directly or indirectly out of its obligations, responsibilities, and duties under the PERMIT which results in claims being asserted against or judgment being imposed against the State of Michigan, the Michigan Transportation Commission, the DEPARTMENT, and all officers, agents and employees thereof and those contracting governmental bodies performing permit activities for the DEPARTMENT and all officers, agents, and employees thereof, pursuant to a maintenance contract. In the event that the same occurs, for the purposes of the PERMIT, it will be considered as a breach of the PERMIT thereby giving the State of Michigan, the DEPARTMENT, and/or the Michigan Transportation Commission a right to seek and obtain any necessary relief or remedy, including, but not by way of limitation, a judgment for money damages.
5. The MUNICIPALITY will, by its own volition and/or request by the DEPARTMENT, promptly restore and/or correct physical or operating damages to any State Highway Right of Way resulting from the installation construction, operation and/or maintenance of the MUNICIPALITY'S facilities according to a PERMIT issued by the DEPARTMENT.

- 6. With respect to any activities authorized by a PERMIT, when the MUNICIPALITY requires insurance on its own or its contractor's behalf it shall also require that such policy include as named insured the State of Michigan, the Transportation Commission, the DEPARTMENT, and all officers, agents, and employees thereof and those governmental bodies performing permit activities for the DEPARTMENT and all officers, agents, and employees thereof, pursuant to a maintenance contract.
- 7. The incorporation by the DEPARTMENT of this *Resolution* as part of a PERMIT does not prevent the DEPARTMENT from requiring additional performance security or insurance before issuance of a PERMIT.
- 8. This *Resolution* shall continue in force from this date until cancelled by the MUNICIPALITY or the DEPARTMENT with no less than thirty (30) days prior written notice provided to the other party. It will not be cancelled or otherwise terminated by the MUNICIPALITY with regard to any PERMIT which has already been issued or activity which has already been undertaken.

BE IT FURTHER RESOLVED that the following position(s) are authorized to apply to the DEPARTMENT for the necessary permit to work within State Highway Right of Way on behalf of the MUNICIPALITY.

Title and/or Name:

I HEREBY CERTIFY that the foregoing is a true copy of a resolution adopted by

the _____
 (Name of Board, etc.)

of the _____ of _____
 (Name of MUNICIPALITY) (County)

at a _____ meeting held on the _____ day
 of _____ A.D. _____.

Signed

Title

Print Signed Name



GRETCHEN WHITMER
GOVERNOR

STATE OF MICHIGAN
DEPARTMENT OF TRANSPORTATION
OAKLAND TRANSPORTATION SERVICE CENTER

PAUL AJEGBA
DIRECTOR

September 2, 2022

2023 ANNUAL PERMIT FOR WORK ON STATE TRUNKLINE RIGHT OF WAY

The MDOT Oakland TSC is now accepting 2023 Annual Permit applications. All permit applications are to be submitted via the MDOT electronic Construction Permit System (CPS). The 2023 Annual Permit will be effective January 1, 2023. Your current 2022 Annual Permit shall continue to be used for any work occurring between now and December 31, 2022.

The Performance Resolution for Governmental Agencies (Form 2207B) was revised in May 2021, therefore, if you haven't done so already, an updated Resolution will be required for 2023. The form shall include the name or title of the designated person(s) authorized to sign permits and shall be uploaded into CPS with your Annual Permit application. I have attached a copy of the form and it can also be found on the internet at www.michigan.gov/mdot.

Each time you perform work under your Annual Permit you will need to submit an electronic Advance Notice via the MDOT electronic CPS system. No work shall be performed until the Advance Notice is approved by MDOT.

An Individual Permit is required for all proposed operations in the MDOT right of way not covered under the Annual Permit.

Municipalities, when working within their municipal limits, are exempt from permit fees.

Thank you for your cooperation. If you have any additional questions, feel free to contact me at 248-895-2558 or MDOT Inspector Jesse Thomas at 248-228-6730.

Sincerely,

Stacey Gough
Oakland TSC Utility/Permit Engineer
goughs@michigan.gov

cc: File

PERFORMANCE RESOLUTION FOR MUNICIPALITIES

This Performance Resolution (Resolution) is required by the Michigan Department of Transportation for purposes of issuing to a Municipality an "Individual Permit for Use of State Highway Right of Way", and/or an "Annual Application and Permit for Miscellaneous Operations within State Highway Right of Way".

RESOLVED WHEREAS, the _____
(County, City, Village, Township, etc.)

hereinafter referred to as the "MUNICIPALITY," periodically applies to the Michigan Department of Transportation, hereinafter referred to as the "DEPARTMENT," for permits, referred to as "PERMIT," to construct, operate, use and/or maintain utilities or other facilities, or to conduct other activities, on, over, and under State Highway Right of Way at various locations within and adjacent to its corporate limits;

NOW THEREFORE, in consideration of the DEPARTMENT granting such PERMIT, the MUNICIPALITY agrees that:

1. Each party to this *Resolution* shall remain responsible for any claims arising out of their own acts and/or omissions during the performance of this *Resolution*, as provided by law. This *Resolution* is not intended to increase either party's liability for, or immunity from, tort claims, nor shall it be interpreted, as giving either party hereto a right of indemnification, either by Agreement or at law, for claims arising out of the performance of this Agreement.
2. If any of the work performed for the MUNICIPALITY is performed by a contractor, the MUNICIPALITY shall require its contractor to hold harmless, indemnify and defend in litigation, the State of Michigan, the DEPARTMENT and their agents and employee's, against any claims for damages to public or private property and for injuries to person arising out of the performance of the work, except for claims that result from the sole negligence or willful acts of the DEPARTMENT, until the contractor achieves final acceptance of the MUNICIPALITY. Failure of the MUNICIPALITY to require its contractor to indemnify the DEPARTMENT, as set forth above, shall be considered a breach of its duties to the DEPARTMENT.
3. Any work performed for the MUNICIPALITY by a contractor or subcontractor will be solely as a contractor for the MUNICIPALITY and not as a contractor or agent of the DEPARTMENT. The DEPARTMENT shall not be subject to any obligations or liabilities by vendors and contractors of the MUNICIPALITY, or their subcontractors or any other person not a party to the PERMIT without the DEPARTMENT'S specific prior written consent and notwithstanding the issuance of the PERMIT. Any claims by any contractor or subcontractor will be the sole responsibility of the MUNICIPALITY.
4. The MUNICIPALITY shall take no unlawful action or conduct, which arises either directly or indirectly out of its obligations, responsibilities, and duties under the PERMIT which results in claims being asserted against or judgment being imposed against the State of Michigan, the Michigan Transportation Commission, the DEPARTMENT, and all officers, agents and employees thereof and those contracting governmental bodies performing permit activities for the DEPARTMENT and all officers, agents, and employees thereof, pursuant to a maintenance contract. In the event that the same occurs, for the purposes of the PERMIT, it will be considered as a breach of the PERMIT thereby giving the State of Michigan, the DEPARTMENT, and/or the Michigan Transportation Commission a right to seek and obtain any necessary relief or remedy, including, but not by way of limitation, a judgment for money damages.
5. The MUNICIPALITY will, by its own volition and/or request by the DEPARTMENT, promptly restore and/or correct physical or operating damages to any State Highway Right of Way resulting from the installation construction, operation and/or maintenance of the MUNICIPALITY'S facilities according to a PERMIT issued by the DEPARTMENT.

- 6. With respect to any activities authorized by a PERMIT, when the MUNICIPALITY requires insurance on its own or its contractor's behalf it shall also require that such policy include as named insured the State of Michigan, the Transportation Commission, the DEPARTMENT, and all officers, agents, and employees thereof and those governmental bodies performing permit activities for the DEPARTMENT and all officers, agents, and employees thereof, pursuant to a maintenance contract.
- 7. The incorporation by the DEPARTMENT of this *Resolution* as part of a PERMIT does not prevent the DEPARTMENT from requiring additional performance security or insurance before issuance of a PERMIT.
- 8. This *Resolution* shall continue in force from this date until cancelled by the MUNICIPALITY or the DEPARTMENT with no less than thirty (30) days prior written notice provided to the other party. It will not be cancelled or otherwise terminated by the MUNICIPALITY with regard to any PERMIT which has already been issued or activity which has already been undertaken.

BE IT FURTHER RESOLVED that the following position(s) are authorized to apply to the DEPARTMENT for the necessary permit to work within State Highway Right of Way on behalf of the MUNICIPALITY.

Title and/or Name:

I HEREBY CERTIFY that the foregoing is a true copy of a resolution adopted by

the _____
(Name of Board, etc.)

of the _____ of _____
(Name of MUNICIPALITY) (County)

at a _____ meeting held on the _____ day

of _____ A.D. _____

Signed

Title

Print Signed Name

AN ORDINANCE

of the City Council of the City of Berkley, Michigan to Amend Article II of Chapter 90, Planning Commission, of the City of Berkley Code of Ordinances to reduce the size of the Planning Commission from 9 to 7 members

THE CITY OF BERKLEY ORDAINS:

SECTION 1: Article II of Chapter 90 of the Berkley Code of Ordinances shall be amended, as follows:

ARTICLE II. – PLANNING COMMISSION

Sec. 90-16. Creation; composition.

There shall be a city planning commission which shall consist of seven members.

Sec. 90-17. Appointment; qualifications.

The members of the planning commission shall be appointed by the mayor with the approval of the council, and one member of the planning commission may be a member of the zoning board of appeals. No person shall be eligible for appointment who is not a qualified elector of the city and a citizen of the United States. Members shall be representative of important segments of the community such as the economic, governmental, educational, and social development of the city, in accordance with the major interests as they exist in Berkley such as agriculture, natural resources, recreation, education, public health, government, transportation, industry and commerce. The membership shall also be representative of the entire territory of the City of Berkley to the extent practicable.

Sec. 90-18. Term of office.

The term of office of the members of the planning commission, subject to the provisions of this article relative to removal, shall for three years. The term of office in each instance shall begin on July 1 in each year. All members of the planning commission shall hold office until their successors are appointed.

Sec. 90-19. Compensation.

Members of the planning commission shall receive no compensation.

Sec. 90-20. Removal of members.

Members of the planning commission may be removed by the council in accordance with City Code section 2-177, and their position shall be subject to being deemed vacant due to excessive unexcused absences under City Code section 2-178 or failure to complete required training under City Code section 2-179.

Sec. 90-21. Filling of vacancies.

Vacancies occurring on the planning commission by other than through the expiration of a term shall be filled for the unexpired term by the council consistent with the provisions of section 90-17.

Sec. 90-22. Chairperson; meetings; rules; records.

The planning commission shall elect its chairperson from among the appointed members and create and fill such other of its offices as it may determine. The term of chairperson shall be one year, with eligibility for reelection. The planning commission shall hold at least one regular meeting in each month. It shall adopt by laws and rules of procedure and shall keep a record of its resolutions, transactions, findings and determinations, which record shall be a public record.

Sec. 90-23. Employees; contracts for special services; source and limit on expenditures.

The planning commission may appoint such employees as it may deem necessary for its work, whose appointment, promotion, demotion and removal shall be subject to the same provisions of law as govern other corresponding civil employees of the city. The planning commission may also contract with city planners, engineers, architects and other consultants for such services as it may require. The expenditures of the planning commission, exclusive of gifts, shall be within the amounts appropriated for the purpose by council, which shall provide the funds, equipment and accommodations necessary for the planning commission's work.

Sec. 90-24. Annual estimate of funds required.

On or before March 1 of each year, the planning commission shall transmit in duplicate to the city manager its estimate of the amount of money required for its purposes for the ensuing fiscal year.

Sec. 90-25. Annual report.

The planning commission shall, on or before August 1 of each year, make a written report to the council of the work of the planning commission during the preceding year. The report shall be certified by the planning commission and entered of record by the city clerk, and published in such manner as the council may direct. The planning commission shall also make such other reports as the council may from time to time require.

SECTION 2: Severability Clause

Should any word, phrase, sentence, paragraph, or section of this Ordinance be held invalid or unconstitutional, the remaining provisions of this ordinance shall remain in full force and effect.

SECTION 3: Effective Date

This Ordinance shall become effective 30 days following the date of adoption.

SECTION 4: Publication

The City Council directs the City Clerk to publish a summary of this ordinance in compliance with Public Act 182 of 1991, as amended, and Section 6.5 of the Berkley City Charter.

Introduced on the First Reading at the Regular City Council Meeting on Monday, September 19, 2022.

Passed on the Second Reading at the Regular City Council Meeting on Monday, October 3, 2022.

Daniel J. Terbrack
Mayor

Attest:

Victoria Mitchell
City Clerk



CITY OF BERKLEY
COMMUNITY DEVELOPMENT
3338 COOLIDGE HWY, BERKLEY, MICHIGAN 48072

MEMORANDUM

To: City Council

From: Kristen Kapelanski, Community Development Director

Subject: Proposed Amendments to Chapter 90 Article II of the City Code: Second Reading

Date: September 28, 2022

The Michigan Planning Enabling Act requires communities to establish and maintain a Planning Commission of five, seven, nine or eleven members. Over the past several months, the Planning Commission has seen substantial turnover which has given staff an opportunity to reexamine City Code provisions that set the number of Planning Commissioners for Berkley at nine. Given the size of the community and the desire to create a Commission composed of community members with personal, educational and professional backgrounds in related fields, staff proposes the City Council reduce the Planning Commission membership from nine to seven.

The first amendment also proposed allowing the Council to appoint a sitting City Council member to the Planning Commission if they so choose. Council considered that provision but ultimately chose not to include it and the city attorney has removed it from the text for the second reading.

There are currently two vacancies on the Planning Commission meaning the Commission size could be reduced immediately without having to wait for any existing terms to expire.

October 3, 2022 City Council Meeting

Moved by Councilmember _____ and seconded by Councilmember _____ to authorize the City Manager to sign the Application for Additional Service Credit Purchase for Rebecca Stout approving two years of additional generic service credit. This purchase is allowed by the City of Berkley MERIT System of Human Resource Management Section 1001.08 and meets all of the requirements of the MERS Plan Document which would allow for this service credit purchase.

Ayes:

Nays:

Motion:

City of Berkley-Finance Department

Memorandum

To: Matt Baumgarten, City Manager
From: Mark Pollock, Finance Director
Date: September 27, 2022
Subject: Application for Generic Additional Service Credit Purchase

Attached is the MERS estimate for additional purchase of service time for Rebecca Stout. The current estimate from MERS is \$11,853, of which the employee will pay \$4,420 and the City would pay the balance of \$7,433. As with all of these service purchases, the fact remains that the City of Berkley would pay slightly more to MERS over two years of her continuing to work than this lump sum amount. This is because the calculation utilizes a formula that approximates the net present value of the service cost which is lower than the future cost over time.

This purchase is allowed under the MERIT Agreement. Feel free to call or e-mail me if you have any questions.